

**PLANNING COMMISSION
STAFF REPORT**

Date: June 15, 2022

To: Reno City Planning Commission

Subject: **6.7. Staff Report (For Possible Action - Recommendation to City Council):**
Case No. LDC21-00034 (Canyon's Edge) - A request has been made for: 1) an amendment to the Master Plan land use designation from ±80.22 Unincorporated Transition (UT) to ±14 acres of Single-Family Neighborhood (SF) and ±66.22 acres of Parks, Greenways, and Open Space (PGOS) and; 2) a zoning map amendment from Unincorporated Transition 40 acres (UT-40) to the Canyons Planned Unit Development (PUD-Canyons). The ±80.22 acres site is located approximately 1,400 feet east of the eastern terminus of Mine Shaft Drive.

From: Brook Oswald, Associate Planner

Ward #: 2

Case No.: LDC21-00034 (Canyon's Edge)

Applicant: Virginia 40's LLC

APN: 016-720-01 & 016-720-16

Request:

- **Master Plan Amendment** from ±80.22 Unincorporated Transition (UT) to ±14 acres of Single-Family Neighborhood (SF) and ±66.22 acres of Parks, Greenways, and Open Space (PGOS)
- **Zoning Map Amendment** from Unincorporated Transition 40 acres (UT-40) to the Canyons Planned Unit Development (PUD-Canyons).

Location: Exhibit A – Case Maps

Proposed Motion: Based upon compliance with the applicable findings, I move to adopt the amendment to the Master Plan by resolution and recommend that City Council adopt the Master Plan and zoning map amendments, subject to conformance review by the Truckee Meadows Regional Planning Commission.

Summary: The ±80.22 project area consists of two parcels generally located 1,400 feet east of the eastern terminus of Mine Shaft Drive. The request is for an amendment to the Master Plan land use designation from ±80.22 acres of Unincorporated Transition (UT) to ±14 acres of Single-Family Neighborhood (SF) and ±66.22 acres of Parks, Greenways, and Open Space (PGOS) and a zoning map amendment from Unincorporated Transition 40 acres (UT-40) to the Canyons - Planned Unit Development (PUD-Canyons) (**Exhibit B**). This request will amend the approved Canyons PUD Handbook to allow an additional eight residential lots and

approximately 80 acres of land identified as the Canyons Edge Village. The proposed changes would allow for a maximum of 79 residential dwelling units on ±160 acres of land in the overall PUD development. Staff analysis focused on: 1) compatibility of the zoning with surrounding zoning districts and uses; 2) availability of public services, utilities and infrastructure, and; 3) appropriateness of the Master Plan amendment. Staff can make all of the findings and recommends approval of the Master Plan and zoning map amendments.

Background: On March 10, 2021 the City Council approved a zoning map amendment, associated PUD Canyons Handbook, tentative map, and special use permit requests related to grading (LDC21-00024 (The Canyons)). The tentative map established 71 single-family lots and approved the special use permits for hillside development, cuts in excess of 20 feet and fills greater than ten feet, and disturbance of a major drainage way. Master Plan policies, infrastructure, public services, compatibility, and grading were reviewed through the previous approval process and found to be appropriate to support the development. A major site plan review application was approved by the Planning Commission on April 20, 2022 to facilitate the construction of water tanks associated with future development of the Canyons PUD.

Discussion: A PUD encourages flexibility in the development of land to promote the most appropriate and compatible uses. This includes improved design, character, and quality of development. The PUD should facilitate the adequate and economical provision of streets and utilities; and preserve the natural and scenic features in the community. More specifically, the purpose of the PUD is:

1. To encourage flexibility in the development of land in Reno;
2. To promote its most appropriate and compatible use;
3. To improve the design, character, and quality of new development;
4. To facilitate the adequate and economical provision of streets and utilities
5. To preserve the natural and scenic features of open areas in the community

The proposed Canyons PUD amendment is consistent with the purpose of a PUD and promotes responsible foothill development beyond standard code provisions, including requirements for new trails, recreation opportunities, conservation of steep slopes and geologic features on site, and enhanced architectural requirements that are sensitive to the topographical constraints and reflect the natural features on the site. The PUD handbook requires feral horse mitigation measures for safety along the Virginia Range.

Analysis The rezoning to PUD review procedure ensures conformance with the Master Plan, demonstration of benefit, and that potential impacts are considered.

The approved Canyons PUD Handbook sets a framework for the proposed zoning map amendment including:

- Public infrastructure and services
- Open space and trails
- Increased landscape and screening standards
- Interface with the Virginia Range
- Enhanced architectural standards

The amended Canyons PUD Handbook provides:

- Canyons Edge Village standards and requirements
- Addition of eight single-family dwelling units on approximately ten acre parcels
- Enhanced feral horse fencing and gate standards

Compatibility: Surrounding adjacent and nearby uses include vacant land, unincorporated land, and existing single-family residential to the west. The addition of eight large residential lots is anticipated to have minimal impacts on surrounding properties. The average overall proposed density is approximately one dwelling unit per two acres and is an appropriate/compatible use with the hillside topography and surrounding residential neighborhoods.

Public Services: The standards of station distribution, response times, inter-local agreements, private fire protection measures, and concurrency management requirements were reviewed with the Canyons PUD and are adequate to ensure emergency services can be provided to future development facilitated by this request. The project is located within a Wildland-Urban Interface (WUI) area and future development will follow requirements set forth in the State's adoption of the Wildland-Urban Interface Code under NRS Chapter 477 and NAC Section 477.281.

Infrastructure: The subject site is vacant and all services necessary to serve future development can be extended to the site. All other necessary utilities to serve the development will need to be contracted and extended to the project site and include: electric and gas by NV Energy and telecom by AT&T or Charter Communications.

Grading and Drainage: The overall PUD site was analyzed during the prior approvals. Specific site grading and drainage will be addressed through the building permit review process.

Access and Circulation: The proposed residential lots will use the roadways identified in the approved tentative map and private driveways to access the home sites. No significant impacts to traffic are anticipated with the addition of the eight residential lots.

Master Plan Amendment: The Master Plan is a legislative planning document with respect to the City's vision, goals, and policies relative to such matters as population, housing, streets, and resource use, which is governed by NRS Sections 278.150 to 278.250. With approval of the Master Plan Amendment, the project would have land use designations of Single-Family Neighborhood (SF) and Parks, Greenways, and Open Space (PGOS) and is classified as Foothill Neighborhood per the Structure Plan. The SF designation has been limited to approximately 14 acres and areas appropriate for development. An additional 66 acres will have the PGOS designation and restrict future development (**Exhibit A**).

- City Wide Policy 1.1B Community Development
- City Wide Policy 2.1B Concurrency Management System
- City Wide Policy 2.2B: Underutilized Properties

The subject properties are currently in the Regional Tier III. The properties will have to be determined to be Tier II by the Truckee Meadows Regional Planning Agency for the proposed development. A Regional Tier II designation review would occur with the required Regional Master Plan conformance review.

Public and Stakeholder Engagement: Various City divisions and partner agencies reviewed the project, and comments were incorporated in the analysis (**Exhibit C**). A courtesy notice was sent to surrounding property owners upon initial submittal of the revised application to add the zoning map amendment. The project was presented at the Ward 2 Neighborhood Advisory Board (NAB) and comments were received from members and the public (**Exhibit D**). The applicant's representative conducted an online neighborhood meeting that detailed the Master Plan request and provided opportunity for public input.

Legal Implications: The previous project was reviewed for compliance with all applicable zoning map amendment and PUD findings outlined in NRS 278.250(2); 278A.410(2)(a), (b) and (c); 278A.500(1)-(7); and 278A.510. The current request is not anticipated to impact previous reviews.

Financial Implications: Based on the initial fiscal impact analysis conducted at the time of the annexation, the project anticipates generating a modest positive fiscal impact to the City. An Affordable Housing Charitable Donation Agreement will support housing needs within the City.

Findings:

General Review Criteria: The decision-making body shall review all development applications for compliance with the applicable general review criteria stated below.

- 1) Consistency with the Reno Master Plan. The proposed development shall be consistent with the Reno Master Plan. The decision-making authority:
 - a. Shall weigh competing plan goals, policies, and strategies; and
 - b. May approve and application that provides a public benefit even if the development is contrary to some of the foals, policies, or strategies in the Reno Master Plan.
- 2) Compliance with Title 18. The proposed development shall comply with all applicable standards in this Title, unless the standard is lawfully modified or varied. Compliance with these standards is applied at the level of detail required for the subject submittal.
- 3) Mitigates Traffic Impacts. The project mitigates traffic impacts based on applicable standards of the City of Reno and the Regional Transportation Commission.
- 4) Provides Safe Environment. The project provides a safe environment for pedestrians and people on bicycles.
- 5) Rational Phasing Plan. If the application involves phases, each phase of the proposed development contains all of the required streets, utilities, landscaping, open space, and other improvements that are required to serve or otherwise accompany the completed phases of the project, and shall not depend on subsequent phases for those improvements.

Master Plan Amendment: To adopt an amendment to the Master Plan Land Use Map, the City Council shall find that:

- a. The amendment is in substantial conformance with Master Plan priorities and policies;
- b. Activities and development allowed by the proposed land use will be reasonably compatible with nearby land uses; and
- c. Plans are in place to provide public services and facilities in accordance with the Master Plan Concurrency Management System.

Zoning Map Amendment: All applications for zoning map amendments shall meet the approval criteria in Section 18.08.304(e), *Approved Criteria Applicable to all Applications*, and the following findings:

- (1) The amendment, together with changed components of the Title, promotes, or does not conflict with the provisions of NRS 278.250(2) (outlined below);

The zoning regulations must be adopted in accordance with the master plan for land use and be designed:

- a. To preserve the quality of air and water resources;
- b. To promote the conservation of open space and the protection of other natural and scenic resources from unreasonable impairment;

- c. To consider existing views and access to solar resources by studying the height of new buildings which will cast shadows on surrounding residential and commercial developments;
- d. To reduce the consumption of energy by encouraging the use of products and materials which maximize energy efficiency in the construction of buildings;
- e. To provide for recreational needs;
- f. To protect life and property in areas subject to floods, landslides and other natural disasters;
- g. To conform to the adopted population plan, if required by NRS 278.170;
- h. To develop a timely, orderly and efficient arrangement of transportation and public facilities and services, including public access and sidewalks for pedestrians, and facilities and services for bicycles;
- i. To ensure that the development on land is commensurate with the character of the physical limitations of the land;
- j. To take into account the immediate and long-range financial impact of the application of particular land to particular kinds of development, and the relative suitability of the land for development;
- k. To promote health and the general welfare;
- l. To ensure the development of an adequate supply of housing for the community, including the development of affordable housing;
- m. To ensure the protection of existing neighborhoods and communities, including the protection of rural preservation neighborhoods;
- n. To promote systems which use solar or wind energy;
- o. To foster the coordination and compatibility of land uses with any military installation in the city, county or region, taking into account the location, purpose and stated mission of the military installation.

(2) The amendment is in substantial conformance with the Master Plan.

Attachments:

Exhibit A - Case Maps (PDF)
 Exhibit B - Canyons PUD Handbook Amended (PDF)
 Exhibit C - Agency Comments (PDF)
 Exhibit D - Public Comments (PDF)
 Item 6.7 - LDC21-00034 - Applicant Presentation (PDF)
 Item 6.7 - LDC21-00034 - Staff Presentation(PDF)

RESULT: **APPROVED [UNANIMOUS]**
MOVER: Mark Johnson, Commissioner
SECONDER: Alex Velto, Commissioner
AYES: Taylor, Gower, Johnson, Velto, Villanueva
ABSENT: J.D. Drakulich, Arthur Munoz

✓ Vote Record - Resolution - Planning Commission 13019					
<input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> Continued <input type="checkbox"/> Withdrawn <input type="checkbox"/> No Action Taken					
			Yes/Aye	No/Nay	Abstain
					Absent

John Krmpotic, representing the applicant, gave an overview of the project.

Brook Oswald, Associate Planner, presented the staff report.

Disclosures: spoke with the applicant's representative, visited the site, received email

Public Comment: none

Questions:

Mr. Oswald answered questions regarding changing the regional tier status.

Mr. Krmpotic answered questions clarifying areas that would be changing to Tier 2 and areas that would stay Tier 3.

Mr. Oswald explained for Commissioner Villanueva that the PUD now allows for 73 homes and that has been tentatively mapped. This would be adding 80 acres and 8 homes.

Mr. Oswald explained for Commissioner Villanueva that there are several stop blocks to prevent development in the green open spaces.

Mr. Oswald answered questions from Commissioner Villanueva regarding the issue with the feral horse population that resides along the Virginia Range. State law required them to build fencing with any development to keep the horses out of the roadways and neighborhoods.

Mr. Oswald confirmed for Commissioner Villanueva that the initial PUD looked at other wildlife in the area and that will be addressed through the tentative map and construction process. He also noted that the foothill areas are subject to wildland urban interface (WUI) fire standards.

Discussion:

Commissioner Gower stated that looking at the map and thinking about what has already been approved just to the west, it feels like an extension of the Tier 2 area. Fundamentally, he is concerned

about development in Tier 3 and in this case there is a compelling set of reasons why it makes sense to move forward with it.

Commissioner Johnson stated it is much easier to make the findings knowing that it is 8 homes we are looking at and they are subject to the same requirements as the other 73 homes. Rather than looking at this as a standalone project, it is really an extension of the PUD that has been vetted. This is the best way to ensure that development won't even be proposed moving up that hill.

It was moved by Commissioner Johnson, seconded by Commissioner Velto, in the case of LDC21-00034 (Canyon's Edge), based upon compliance with the applicable findings, to adopt the amendment to the Master Plan by resolution and recommend that City Council adopt the Master Plan and zoning map amendments, subject to conformance review by the Truckee Meadows Regional Planning Commission. The motion carried unanimously with five (5) commissioners present.

Resolution No. 03-22

RESOLUTION ADOPTING AMENDMENT TO MASTER PLAN, PLANNING CASE NO. LDC21-00034 (CANYON'S EDGE) FROM ±80.22 UNINCORPORATED TRANSITION (UT) TO ±14 ACRES OF SINGLE-FAMILY NEIGHBORHOOD (SF) AND ±66.22 ACRES OF PARKS, GREENWAYS, AND OPEN SPACE (PGOS), AND RECOMMENDING THE SAME TO THE RENO CITY COUNCIL. THE ±80.22 ACRES SITE IS LOCATED APPROXIMATELY 1,400 FEET EAST OF THE EASTERN TERMINUS OF MINE SHAFT DRIVE. THE ADOPTION IS CONTINGENT ON THE APPROVAL OF AN ASSOCIATED ANNEXATION AND CONFORMANCE REVIEW BY THE TRUCKEE MEADOWS REGIONAL PLANNING COMMISSION.

WHEREAS,

- A. In accordance with NRS 278.150, the City of Reno Master Plan was adopted by the Reno City Planning Commission and the Reno City Council as a long-term general plan for the physical development of the City;
- B. In accordance with NRS 278.210 through 278.230 amendments to that plan are to be adopted by the Planning Commission who also makes certain recommendations to the City Council, and based on the recommendations of the Planning Commission, the City Council makes certain determinations (set out in NRS 278.230) and adopts such parts of the Master Plan as may practicably be applied to the development of the city for a reasonable period of time next ensuing (NRS 278.220);
- C. In the above referenced Planning Case, the Planning Commission has been asked to consider a change to the Land Use Plan of the City Master Plan as described above;
- D. Following a public hearing on June 15, 2022, in compliance with NRS 278.210 through 278.230, the Planning Commission has considered all evidence before it, including documents and testimony;

NOW, THEREFORE, BE IT RESOLVED BY THE RENO CITY PLANNING COMMISSION:

- 1. That the maps, documents and descriptive material in Planning Case No. LDC21-00034 (Canyon's Edge), (hereafter referred to as "the Amendments") are related to the planning and physical development of the City and are hereby **ADOPTED** as Amendments to the City of Reno Master Plan; and

2. That the Planning Commission recommends that the City Council make the determination that with the Amendments, the City of Reno Master Plan will continue to serve as:
 - (a) A pattern and guide for that kind of orderly physical growth and development of the city which will cause the least amount of natural resource impairment and will conform to the adopted population plan, where required, and ensure an adequate supply of housing, including affordable housing; and
 - (b) A basis for the efficient expenditure of funds thereof relating to the subjects in the master plan.
3. That the Planning Commission recommends that the City Council adopt such parts of the Amendments as may practicably be applied to the development of the city for a reasonable period of time next ensuing, subject to annexation of the site and conformance review of the Regional Planning Commission.

Upon motion of Commissioner _____, seconded by Commissioner _____, the foregoing Resolution was passed and adopted this 15th day of June, 2022, by the following vote of the Commission:

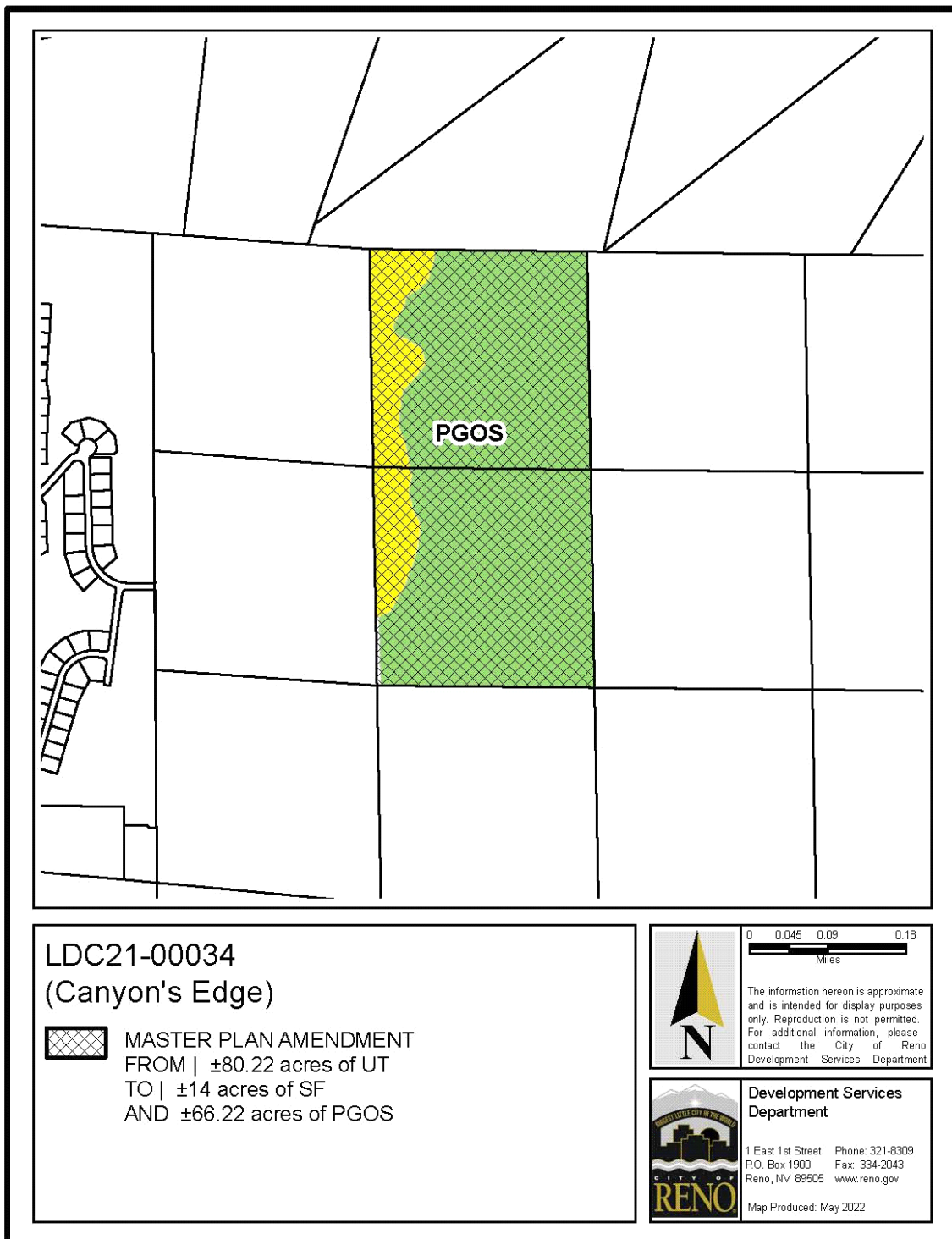
AYES: _____
NAYS: _____
ABSTAIN: _____ ABSENT: _____

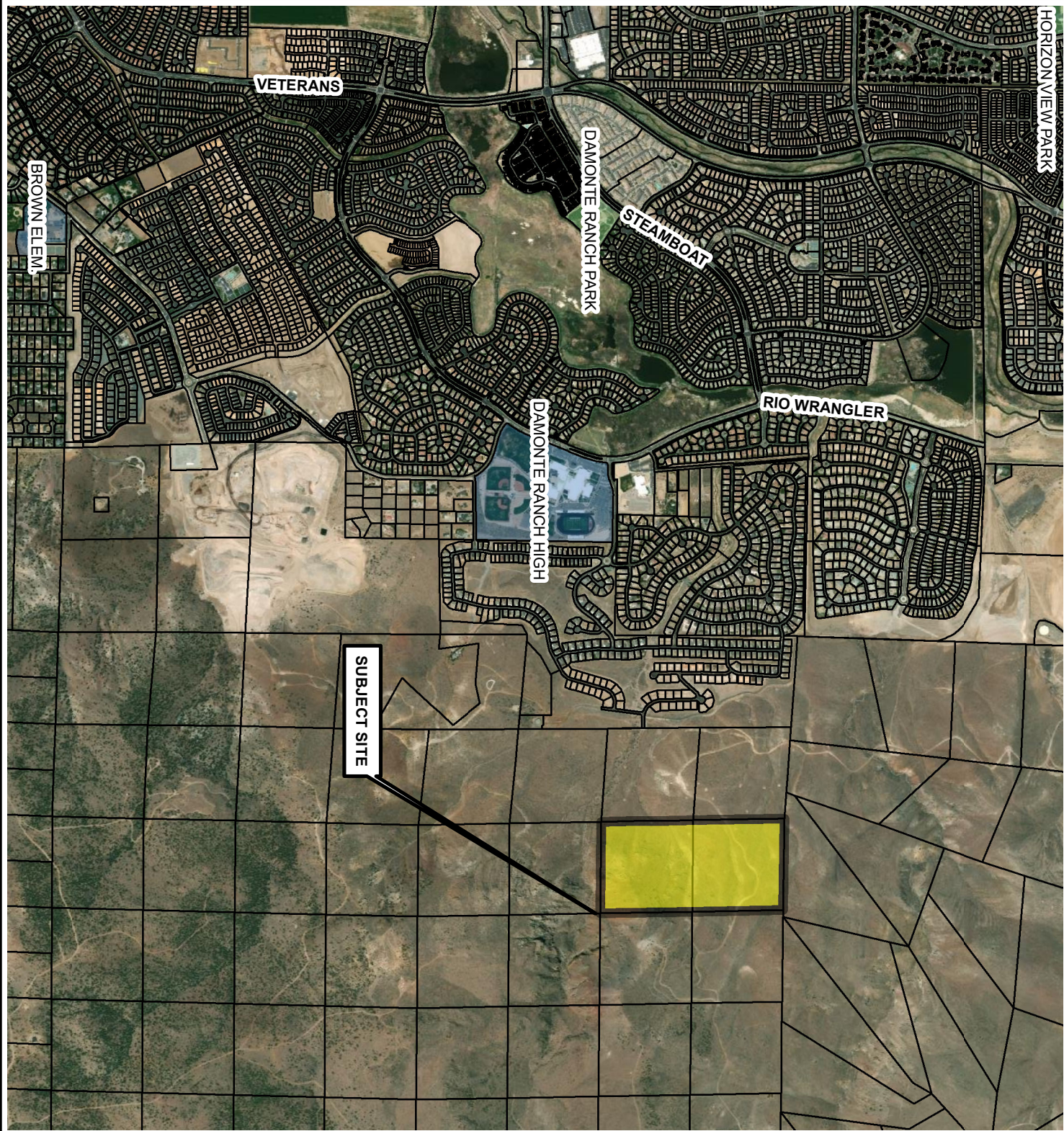
APPROVED this ____ day of _____, 20__.

CHAIRPERSON

ATTEST:

PLANNING MANAGER
RECORDING SECRETARY



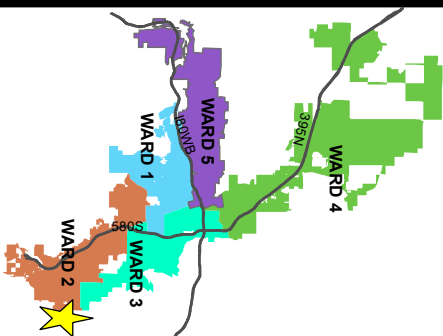


AREA MAP

LDC21-00034

(Canyon's Edge)

Subject Site ▶



WARD 2



Development
Services
Department



The information herein is approximate and is intended for display purposes only.

Date: June 2022

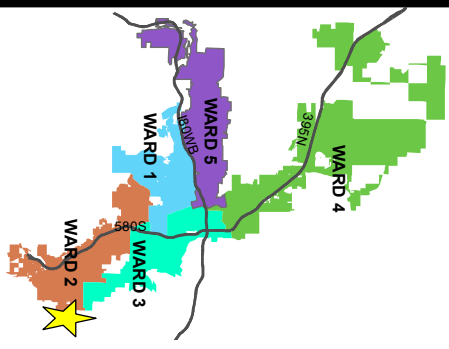
Scale: 1 inch = 2,000 feet

VICINITY MAP

LDC21-00034

(Canyon's Edge)

Subject Site ► 



 WARD 2



Development
Services
Department



The information herein is approximate and is intended for display purposes only.

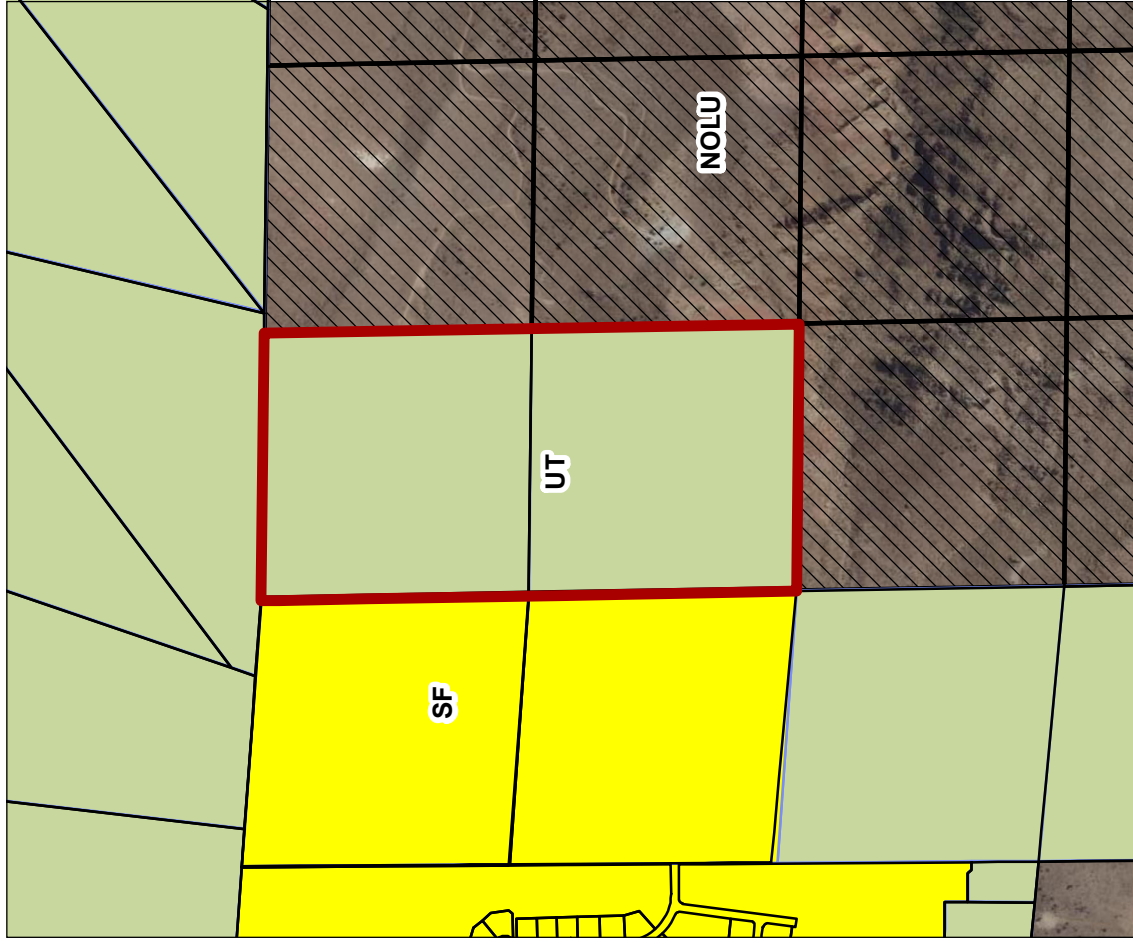
Date: June 2022
Scale: 1 inch = 1,200 feet

MASTER PLAN LAND USE COMPARISON MAP

LDC21-00034 (Canyon's Edge)

Existing MPLU: UT

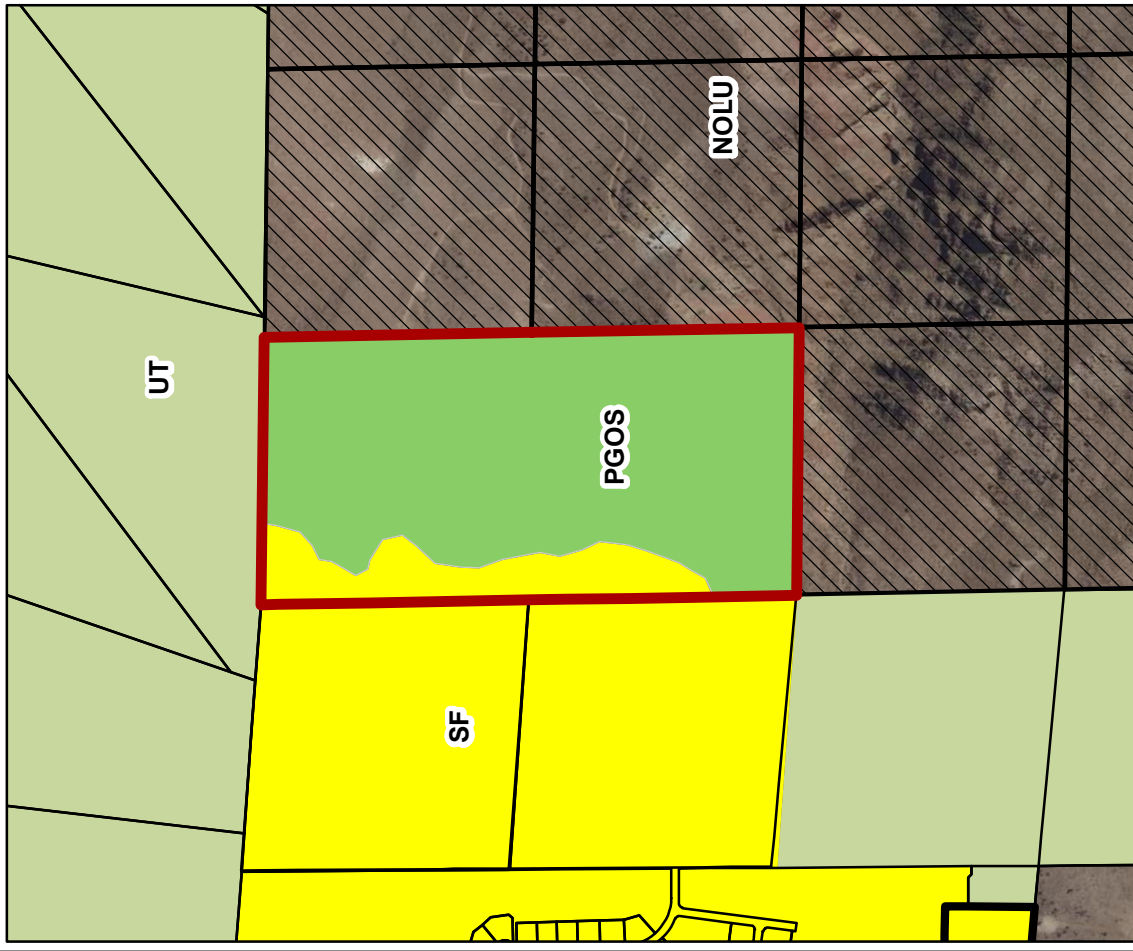
Subject Area ▶



Proposed MPLU: SF & PGOS



Subject Area ▶



Master Plan Land Use



Master Plan Land Use



Date: April 2022

Scale: 1 inch = 950 feet

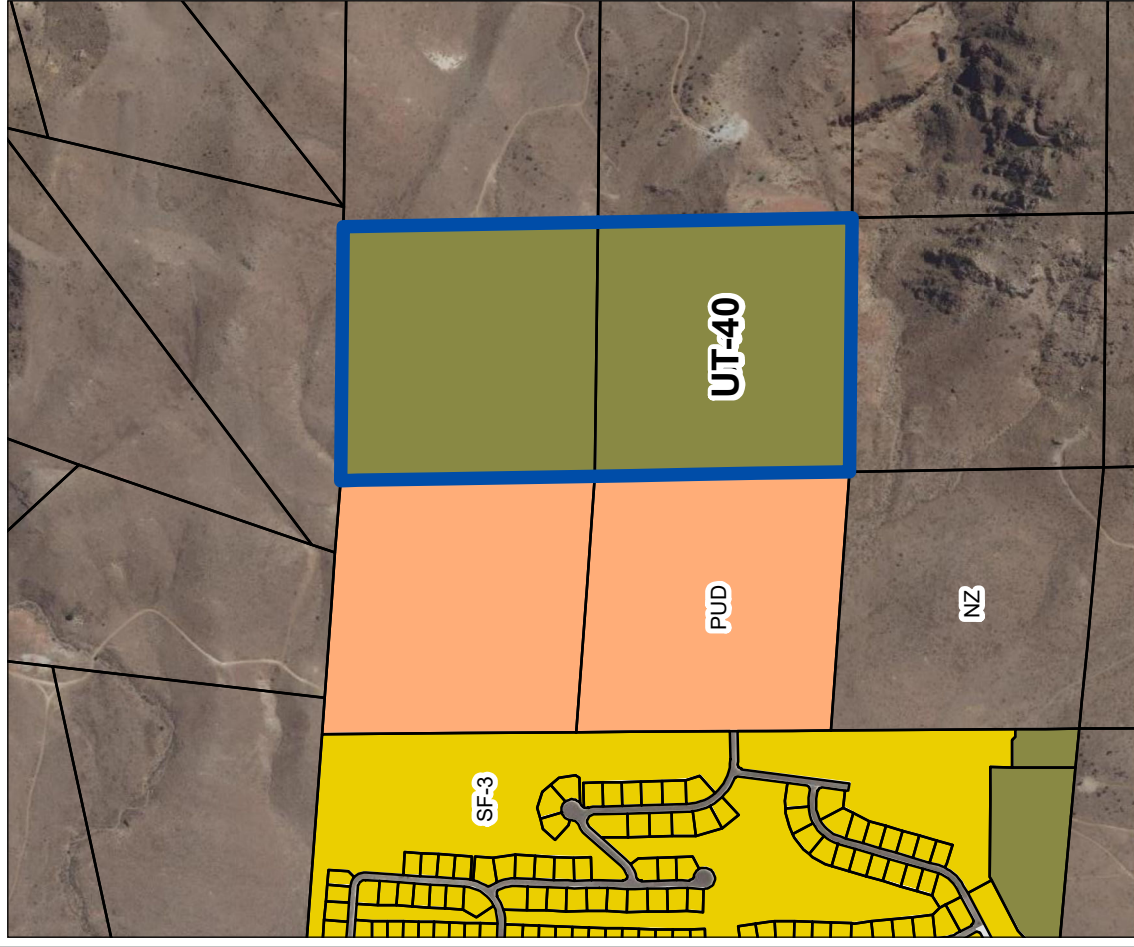
The information heron is approximate and is intended for display purposes only.

ZONING MAP

LDC21-00034 (Canyon's Edge)

Existing Zoning: UT-40

Subject Site ☐



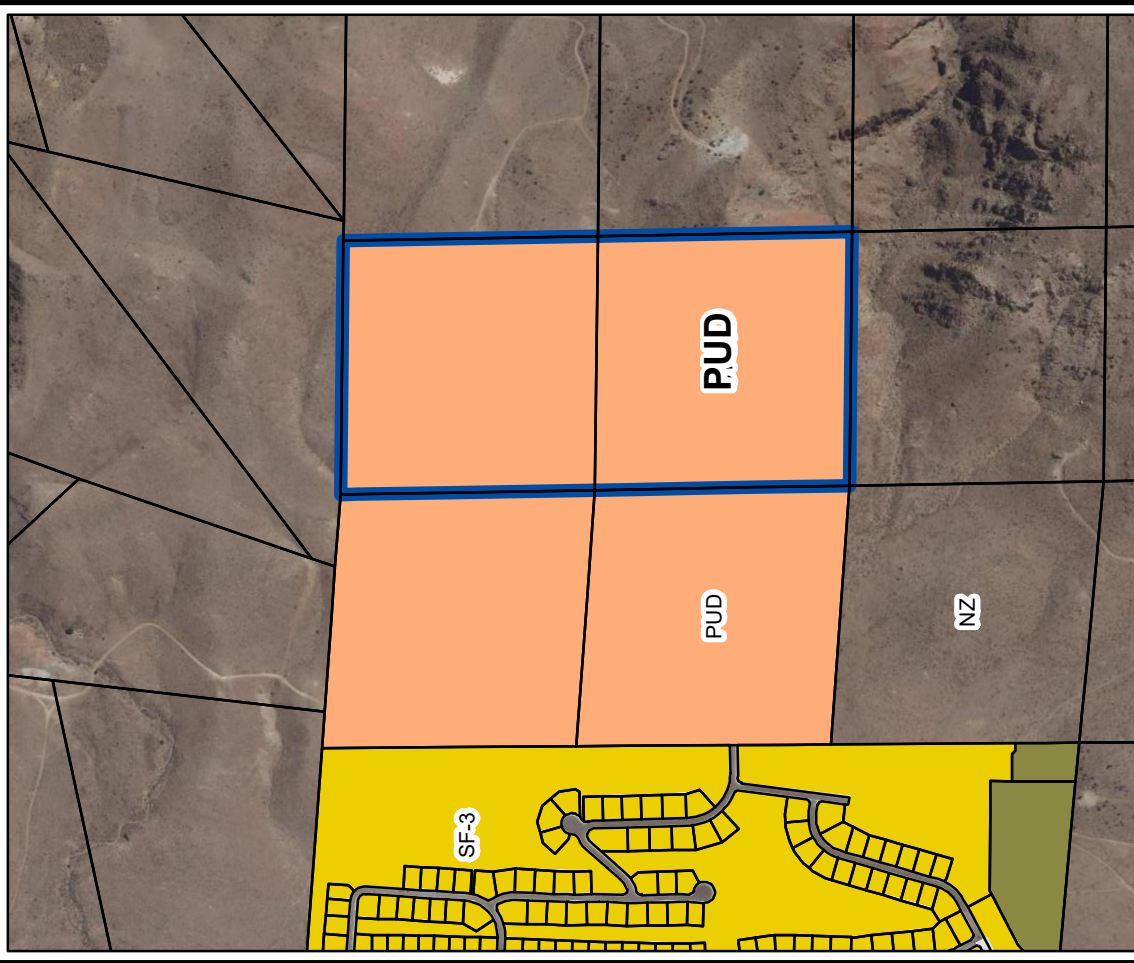
Zoning Designations



Date: May 2022

Proposed Zoning: PUD

Subject Site ☐



Zoning Designations

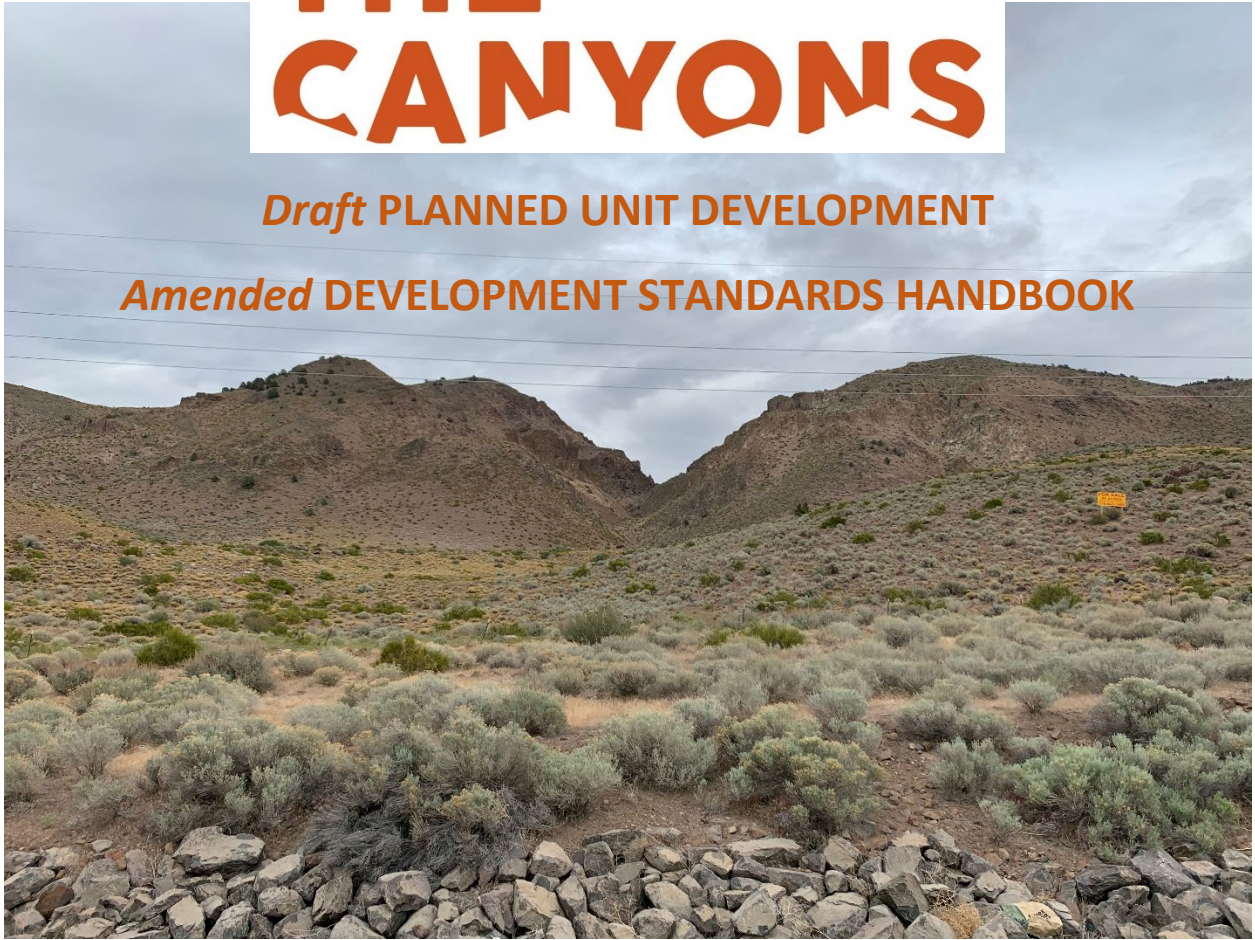


Scale: 1 inch = 1,000 feet
The information herein is approximate and is intended for display purposes only.

THE CANYONS

Draft PLANNED UNIT DEVELOPMENT

Amended DEVELOPMENT STANDARDS HANDBOOK



Adopted Date:

Amended Date:

TABLE OF CONTENTS

CHAPTER 1 – INTRODUCTION AND IMPLEMENTATION.....1-1

Purpose	1-1
Community Vision	1-1
Guiding Principles	1-3
Site-Sensitive Land Use Pattern	1-3
Sense of Place, People Gathering Places and Walkability.....	1-4
Use of Organic and Natural Materials.....	1-4
Implementing the Vision	1-5
Project Description.....	1-5
Site Analysis.....	1-7
The Canyons Land Plan	1-12
Canyon Creek	1-14
Canyon Crest	1-16
Canyon Meadow	1-16
Canyon Estates	1-17
Canyons Edge	1-17
Handbook Implementation.....	1-18
Binding Effect of Handbook	1-19
Individual Project Approvals	1-19
Deviations from Handbook Standards	1-19
Modifications to Handbook	1-19
Density	1-20
Permitted Unit Transfers.....	1-20
Affordable Housing	1-20

CHAPTER 2 – DEVELOPMENT STANDARDS.....2-1

Purpose and Compliance	2-1
Land Use Development Standards.....	2-1
Residential Villages.....	2-1
Canyon Creek	2-2
Canyon Crest	2-4
Canyon Meadow	2-6
Canyon Estates	2-8
Canyons Edge	2-9
Open Space	2-109
Permitted and Conditional Uses	2-131
Roadway Standards	2-153
Circulation Plan	2-153

CHAPTER 2 (continued):	
Roadway Design	2-1 53
Entry Features and Traffic Calming	2-1 7
Construction	2-1 75
Maintenance	2-1 75
Street Lighting	2-1 86
Roadways	2-1 86
Entries	2- 2018
Community Gateway	2- 2018
General Requirements	2- 2018
Neighborhood Entries	2- 2220
Trails	2-2 42
Multi-Use Trails	2-2 42
Trail Access Points	2-2 75
Open Space	2-2 75
Open Space Amenities	2-2 75
Urban/Wildlife Interface/Wild Horse Corridor	2- 3028
Grading	2-3 30
Mailboxes	2-3 52
CHAPTER 3 – SITE DESIGN AND ARCHITECTURAL STANDARDS3-1	
Overview	3-1
Site Planning Standards and Guidelines	3-2
Grading	3-4
Landscaping.....	3-5
Project Entry.....	3-8
Lighting	3-9
Walls and Fencing	3-10
Architectural Standards and Guidelines	3-12
Architectural Theme.....	3-12
Single Family Architectural Standards	3-13
Design Characteristics	3-13
Elevation Variations	3-14
Windows	3-15
Doors and Entries	3-16
Garages	3-17
Outdoor Living Spaces.....	3-18
Exterior Paint and Materials	3-19
Finish Materials	3-20
Roof and Mechanical Equipment	3-21
Sustainability	3-21
Non-Residential Standards	3-22

CHAPTER 4 – CONSTRUCTION, OPERATION, AND MAINTENANCE4-1

Clean Job Site	4-1
Protection of Vegetation During Construction	4-1
Temporary Protective Fencing.....	4-1
Erosion Control Plan and Storm Water Pollution Prevention Plan (SWPP).....	4-1
Temporary Structures and Signs	4-1
Model Home Complexes.....	4-2
Construction Yards and Hours	4-3
General Construction Standards.....	4-4
Common Area Maintenance.....	4-4
General Maintenance Standards	4-4
Private Open Space and Common Areas	4-5

List of Figures:

Figure 1-1 Regional Context Map.....	1-6
Figure 1-2 Vicinity Map	1-7
Figure 1-3 Slope Analysis.....	1-8
Figure 1-4 Site Photos	1-10
Figure 1-5 Site Photos	1-11
Figure 1-6 The Canyons Conceptual Land Plan	1-14 5
Figure 2-1 Roadway Sections	2-1 6 4
Figure 2-2 Community Gateway Concept	2-2 1 9
Figure 2-3 Typical Neighborhood Entry Concept	2-2 3 1
Figure 2-4 The Canyons Trail and Open Space Plan	2-2 5 3
Figure 2-5 Trail Concepts.....	2-2 6 4
Figure 2-6 Stone Cabin Concept.....	2-2 8 6
Figure 2-7 Open Space Amenity Concepts.....	2-2 9 7
Figure 2-8 Horse Fencing Plan.....	2-3 2 0
<u>Figure 2-9 Potential Horse Gate Options</u>	<u>2-33</u>

List of Tables:

Table 1-1 – Base PUD Density	1-12
Table 1-2 – Required Open Space.....	1-13
Table 1-3 – The Canyons Land Use Summary	1-18
Table 2-1 – Canyon Creek Development Standards	2-2
Table 2-2 – Canyon Crest Development Standards	2-4
Table 2-3 – Canyon Meadow Development Standards	2-6
Table 2-4 – Canyon Estates Development Standards	2-8
<u>Table 2-5 – Canyons Edge Development Standards</u>	<u>2-9</u>

THE CANYONS

Table 2- <u>65</u> – Open Space Setbacks and Density/Intensity Requirements	2-1 <u>10</u>
Table 2- <u>76</u> – Land Use Matrix	2-1 <u>31</u>
Table 2- <u>87</u> – Streetscape Lighting Standards.....	2-1 <u>97</u>

1 INTRODUCTION AND IMPLEMENTATION

1.1 PURPOSE

The purpose of this Development Handbook is to provide for the orderly development of The Canyons Planned Unit Development (PUD), while ensuring that the stated desired level of quality is achieved. Because implementation of public and private improvements will occur in multiple phases over several years, the standards and guidelines contained herein establish a common framework to guide individual improvement plans. The development of The Canyons PUD is controlled and restricted by these development requirements as well as by all applicable government codes and regulations. The Canyons Design Review Committee (DRC) and the City of Reno shall enforce all provisions and standards including the graphic and textual elements of this Development Handbook. This Development Handbook is not intended to limit creativity or prevent variation necessary to respond to unique site conditions, but rather to generate consistency and quality throughout The Canyons.

Improvement of public areas within The Canyons will be the responsibility of the developer, unless assigned by agreement to other public or private parties. All improvements shall be designed consistent with these standards and guidelines. Maintenance of public areas within The Canyons including trails, community amenities, monuments, open space, decorative light fixtures, and landscape buffers will be the responsibility of The Canyons Homeowners Association (HOA) unless assigned by agreement to other public or private parties. Specific responsibilities for the improvement and maintenance of these areas are further addressed in Chapters 2 and 3 of this Development Handbook.

1.2 COMMUNITY VISION

The Canyons embraces the natural beauty and indigenous characteristics of the site and adopts a Desert Modernism/Contemporary theme. The overall vision of the community evolves from natural landforms and site features including indigenous rock, sweeping views, wild mustangs, and the history of the area. The community vision includes the use of natural materials found onsite to create community amenities that blend with the natural landforms of the property. Rather than a mass-graded “production” approach to development, new residences within The Canyons are located to respect natural landforms, afford tremendous views, and blend with the natural surroundings.

THE CANYONS

Drawing from the natural beauty of the site, The Canyons sets out to create a sense of community that is bound together through common design standards, similar styles, and innovative planning concepts. The Canyons envisions a Desert Contemporary enclave that evokes a sense of place through unique amenities such as gathering places, trails, and common community elements created from natural onsite materials. The use of contemporary architecture sets The Canyons apart from existing neighborhoods to the west. Ultimately, The Canyons will become the gateway to the eastern foothills creating a community like no other found in the region.

The Desert Contemporary theme does not encourage typical suburban sprawl. Rather, the community draws from organic design that provide less emphasis on sprawling yards and more focus on community features, views, trails, and open space that provide residents areas to gather, recreate, and socialize. Similar to some of Reno's most cherished neighborhoods such as the Old Southwest and Caughlin Ranch, The Canyons will include traditional design elements that have proven to be timeless such as incorporation of duet homes, common driveways, and architectural elements that provide quality and innovative design.

The Canyons is a combination of modern contemporary design blended with the natural landscape including the indigenous materials of the site. The community aims to be visually unobtrusive and embraces the natural environment. From the dramatic canyon that frames the project entry to the natural beauty of the wild horses that roam the eastern foothills, The Canyons aims to create a community that will make both residents and the City of Reno proud.

An underlying concept of The Canyons vision is to create a community that appeals to a range of residents, despite their phase in life. The community provides for a variety of home types including traditional single family homes, duet attached single-family homes, and custom equestrian lots. These are unified with the goal of providing a community that has a strong sense of place and encourages residents to interact with each other.

The Canyons will evoke the style and charm of Desert Contemporary classics often found in areas such as Spain, Palm Springs, Scottsdale, or Santa Fe. Contemporary architecture unique to the Truckee Meadows encourages the use of natural materials and colors that blend with the awe-inspiring backdrop of the project. Incorporation of community gathering spaces, interpretive trails that preserve the history of the area, and the use of the natural indigenous rock to create amenities that blend with the environment will serve to not only create a sense of place, but a true sense of community.

1.2.1 Guiding Principles

The Vision for The Canyons is to draw on the site's natural features and history to create an identifiably unique community that embraces a balance of residential units, preserves natural site features and open space, accommodates wildlife, and protects views both to and from the eastern foothills. From this Vision, three Guiding Principles have been established to guide the development, growth, and design of The Canyons. Each principle serves as a foundation for the Vision that will create a desirable and successful community.

1. Site-Sensitive Land Use Pattern.
2. A Distinct Sense of Place with People Gathering Places (Built-in and Walkability).
3. Use of Natural and Organic Materials.

1.2.2 Site-Sensitive Land Use Pattern

The Canyons PUD recognizes the scenic value of the project site and its unique features. This includes topographic diversity and both onsite and off-site viewsheds. The land plan developed for The Canyons has been designed to minimize grading and require site adaptive architecture which greatly reduces visual impacts from development and preserves prominent site features such as knolls, drainages, and rock outcroppings. Unlike a traditional mass-graded suburban subdivision, The Canyons includes a mix of traditional, semi-custom, and custom homesites that adapt to the natural onsite landforms.

1.2.3 Sense of Place, People Gathering Places and Walkability

Place-making is one of the key components in creating a vibrant and balanced community. A sense of place is fostered within The Canyons by creating human-scale environments in which the individual can feel both comfortable and safe. The Canyons Land Plan organizes movement by providing connectivity between various neighborhoods and community activity centers. Integration of people gathering places that contain both passive and active recreation opportunities, gathering places such as a stone cabin constructed of indigenous materials that can be used as an amphitheater, and areas where residents may sit and enjoy the expansive views afforded from the site.

A 1.49± mile trail network (as detailed later in this Handbook) will provide connections between The Canyons neighborhoods and the community amenities. Trails will connect to existing on and offsite facilities and will extend throughout the project and to its boundaries, accommodating future connections as well. Consistent with the community theme and vision, trails will incorporate the use of natural materials for wayfinding and are purposely designed to not look manufactured or man-made.

1.2.4 Use of Organic and Natural Materials

The Canyons PUD recognizes that the natural beauty and features of the site are what truly sets the site apart from other communities in the area. The property includes a dramatic canyon backdrop, majestic rock formations, and a large knoll that affords views of Mount Rose, the Sierra Front, and the valley lights below. The PUD envisions incorporating these natural features, not only as preserved areas but within the development itself. This is accomplished by incorporating natural stone and timbers into even the smallest details of the community. For example, rather than utilizing conventional wayfinding signs, the use of natural rock to mark trails, create project entries, and identify project boundaries will occur in order to maintain a natural appearance and blend The Canyons with the natural environment.

Amenities planned within The Canyons will include the use of native materials and will appear to be entirely natural to the site. This includes benches constructed of onsite rock, trail markers that utilize indigenous materials, walls constructed of natural stone, etc. A stone “cabin” will be located within the common area and provides an amenity that children can explore, people can gather for events, and helps reinforce the sense of community within The Canyons. Additionally, a naturally formed amphitheater that includes seating constructed of natural rock will provide a dramatic backdrop for acoustic music performances, neighborhood socials, and other community gatherings.

1.2.5 Implementing the Vision

The vision for The Canyons will be carried out through the guidance provided by the three overarching principles. Its visual identity will be further defined and coordinated by the architectural, streetscape, and landscape themes described in this Handbook. Innovative use of materials, methods of construction and site planning proposed herein will also ensure the quality and character of the community as it develops over time. This Development Handbook will be used by the City of Reno and the DRC as a guide for reviewing individual projects within The Canyons.

1.3 PROJECT DESCRIPTION

The Canyons (APN#’s 145-010-06 and 07, 016-720-01 and 16) consists of 161.2381-01± acres located in the eastern foothills of the Truckee Meadows. The site’s Virginia Range location affords views of the valley and South Meadows below and is convenient to existing employment, shopping, and community facilities.

The PUD site area is characterized by rolling terrain that includes canyons, drainages, and significant natural features including a prominent knoll. The area is home to wild horses that roam through the Virginia Range. Natural features and wildlife corridors are a driving force of the community vision and design standards contained herein.

Immediately west of the PUD boundary lies the Palisades project currently under development. Palisades essentially forms the eastern boundary of Damonte Ranch and the South Meadows. The Canyons will create the gateway to the eastern foothills and allows for a more innovative and sensitive approach to development. ~~The project is planned to allow for integration with the adjoining properties to the east and north.~~

Figure 1-1 (below) depicts the location of The Canyons in context with the entire Truckee Meadows region while Figure 1-2 (following page) depicts the site in context with the immediate areas that adjoin the PUD boundary.

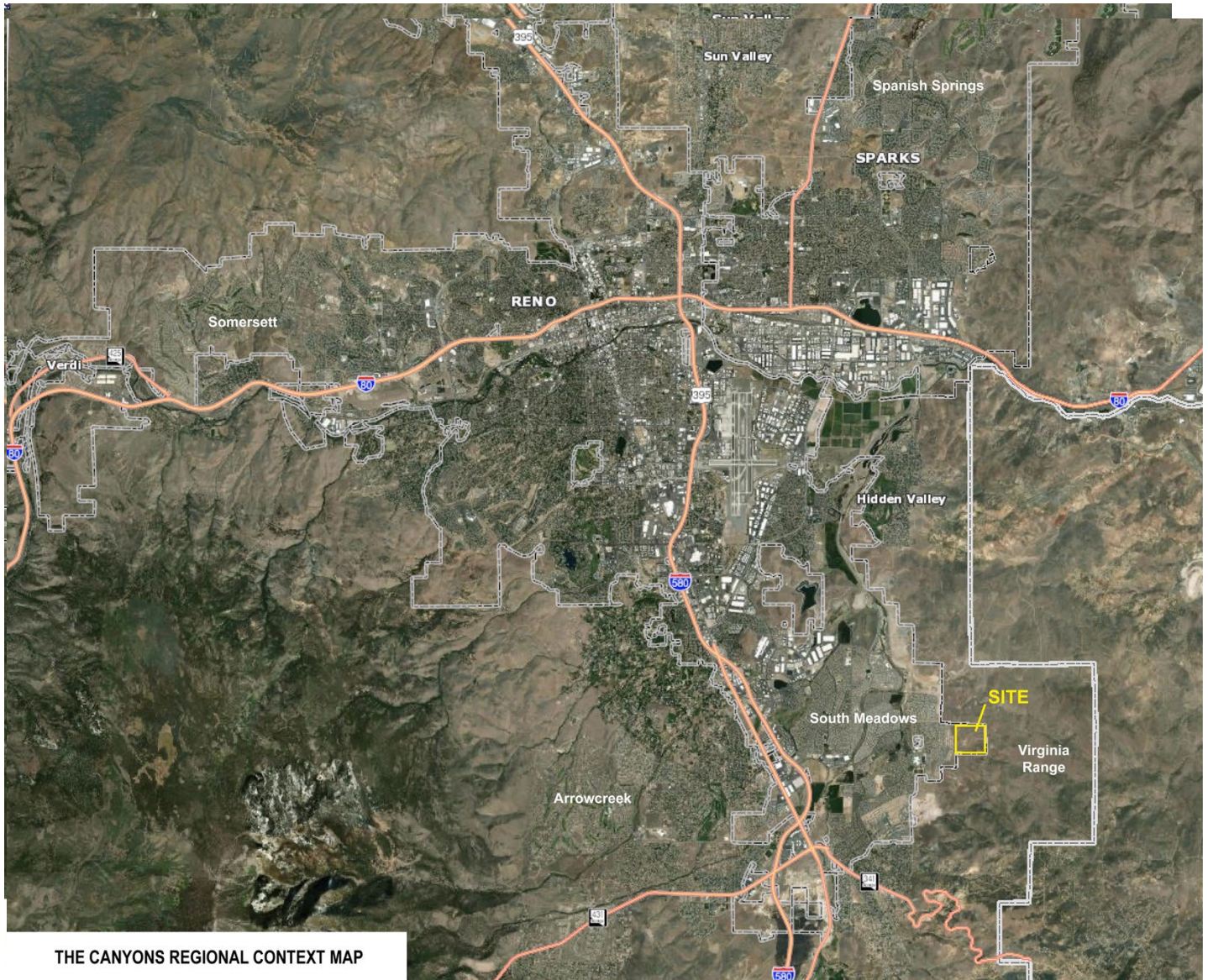


Figure 1-1 – Regional Context Map

THE CANYONS

Figure 1-3 (below) depicts a comprehensive slope analysis of The Canyons PUD area.

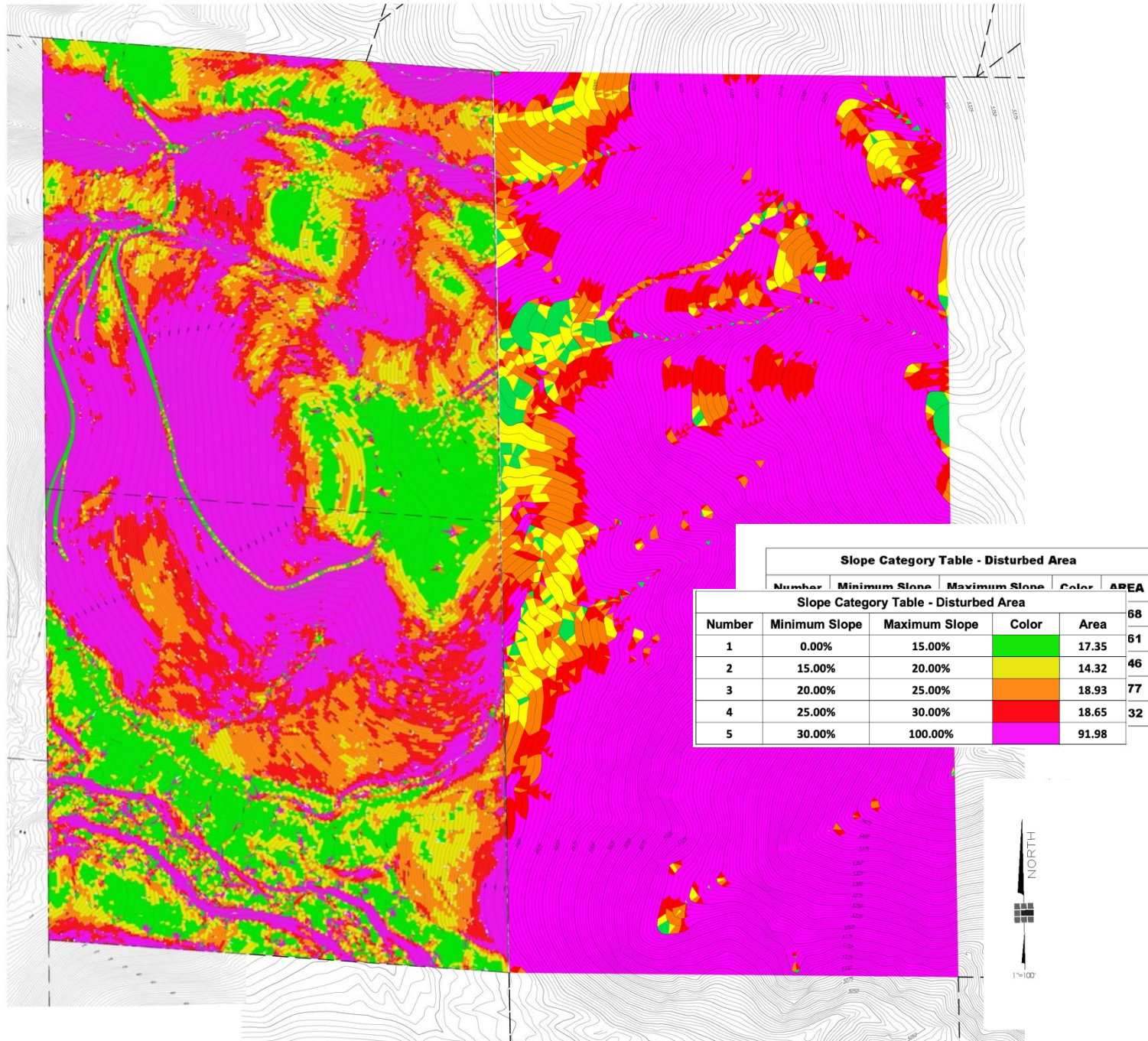


Figure 1-3 – Slope Analysis

A major drainageway, as defined by the City of Reno, traverses the southern portion of the PUD area. The drainageway drains approximately 1,405± acres and is fed by the watershed above The Canyons in the Virginia Range. The drainageway contains no identified wetlands or riparian vegetation. In fact, the drainageway rarely has water flowing through it. Any disturbance to this drainageway as part of a future tentative map(s) will require the review and approval of a Special Use Permit by the City of Reno, as detailed in the following chapters.

Various small drainages exist onsite. However, these drainages rarely convey flows and simply open up for sheet flow within the site itself. These drainages do not have significant hydrologic value and may be altered with future development, subject to City of Reno standards.

As noted previously, there is a significant amount of indigenous rock onsite. This material dates back thousands of years when the Virginia Range was originally formed. Although there are no significant identified rock outcroppings, there are several rock formations that not only have scenic value but will serve to become focal points of the community. The standards contained herein provide for the protection of these scenic resources and require that new development incorporate the use of native materials to the extent possible.

The Virginia Range is known for its herds of feral horses that graze along the eastern foothills. Unlike conventional development, The Canyons embraces the feral horses within the development plan and views the herds as a unique amenity rather than a hinderance to development. It is the intent of the PUD to keep the feral horses that roam in this area safe, wild, and free.

In accordance with NRS 569.431, the Master Developer or their assignee will erect a preconstruction fence to prevent the feral horses from entering the construction area. Ongoing meetings and discussions with City staff and Federal agencies are supportive with full acknowledgement that the fence lines may change with future development of adjoining properties and must comply with Nevada law.

Figures 1-4 and 1-5 (following pages) depict the onsite conditions, views, and features located within The Canyons PUD boundaries.

THE CANYONS



Figure 1-4 – Site Photos

THE CANYONS



Figure 1-5 – Site Photos

1.3.2 The Canyons Land Plan

The residential density allowed within The Canyons is derived from the underlying ~~Single-Family~~ Single-Family Neighborhood (SF) Master Plan designation previously assigned by the City of Reno. The SF designation allows for densities as high as 7.26 dwelling units per acre (i.e. SF-6). Underlying density of The Canyons PUD is based on 2.9 dwelling units per acre, the equivalent of SF-15 zoning which adjoins the site to the west. Proposed density is .56 dwellings per acre

Because the PUD area meets the thresholds of a Hillside Development per the standards included in Section ~~18.12.1601.161~~ 18.04.405 of the Reno Municipal Code, density reduction factors are applied to the SF-15 base density to determine allowed base density for The Canyons. This calculation is included in Table 1-1 below:

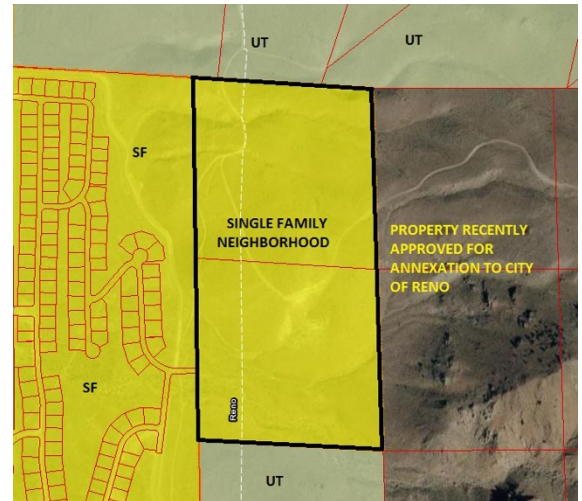


Table 1-1 – Base PUD Density

Slope Category	Area Within Range	Base Zoning Density	Density Reduction Factor	Unit Yield
0-15%	17.35 <u>14.91</u> ± acres	2.9 du/ac	None	50.31 <u>3.24</u>
15.1 to 20%	14.32 <u>10.84</u> ± acres	2.9 du/ac	0.6	18.86 <u>24.92</u>
20.1 to 25%	18.93 <u>13.69</u> ± acres	2.9 du/ac	0.2	10.98 <u>7.94</u>
25.1 to 30%	18.65 <u>13.01</u> ± acres	2.9 du/ac	0.1	3.77 <u>5.41</u>
Greater than 30%	91.98 <u>28.54</u> ± acres	2.9 du/ac	No Density Allocation	0
TOTAL	81.01 <u>161.23</u> ± acres	-----	-----	9173 units

As depicted in Table 1-1, the maximum unit yield within The Canyons shall not exceed ~~7391~~ units per the hillside development code. However, the maximum yield requested in the Canyons PUD is 81 units.

The Canyons PUD will also conform to the standards set forth in Section 18.12.1607 of the Reno Municipal Code as it relates to required open space. Required open space is calculated in Table 1-2 below.

Table 1-2 – Required Open Space

Slope Category	Area Within Range	Minimum Required Open Space	Required Open Space Yield
0-15%	14.91 <u>17.35</u> ± acres	None	None
15.1 to 20%	10.84 <u>14.32</u> ± acres	25%	3.58 <u>2.71</u> ± acres
20.1 to 25%	13.69 <u>18.93</u> ± acres	50%	6.85 <u>9.46</u> ± acres
25.1 to 30%	13.01 <u>18.65</u> ± acres	75%	9.76 <u>13.98</u> ± acres
Greater than 30%	28.54 <u>91.98</u> ± acres	100%	28.54 <u>91.98</u> ± acres
TOTAL	81.01 <u>161.23</u> ± acres	-----	47.86 <u>119.00</u> ± acres

A total of ~~47.86~~119.00± acres of dedicated open space is required within The Canyons PUD. Compliance with the open space standard and requirements set forth by Section 18.12.1607 of the Reno Municipal Code shall be demonstrated in any future tentative map. This includes the potential for additional open space requirements should the disturbance of 30% or greater slopes occur. Required open space may be included within development areas identified on The Canyons Land Plan through the use of clustering, common open space, etc.

Although The Canyons consists of only ~~73~~81 units, the Land Plan introduces a diversified mix of residential densities within the PUD. The Land Plan envisions an enclave approach to development and allows for flexibility in design to accommodate a multitude of unit types. ~~Five~~Four distinct villages are identified within the land plan forming individual neighborhoods that are unified through common design elements, amenities, and pedestrian connections.

The ~~four~~five distinct villages included within The Canyons are; Canyon Creek, Canyon Crest, Canyon Meadow, ~~and~~ Canyon Estates, ~~and~~ Canyons Edge. These villages are summarized herein. Specific design standards for units permitted within each village is included within the following chapters. Figure 1-6 (following page) depicts The Canyons Land Plan, including proposed village boundaries.

THE CANYONS

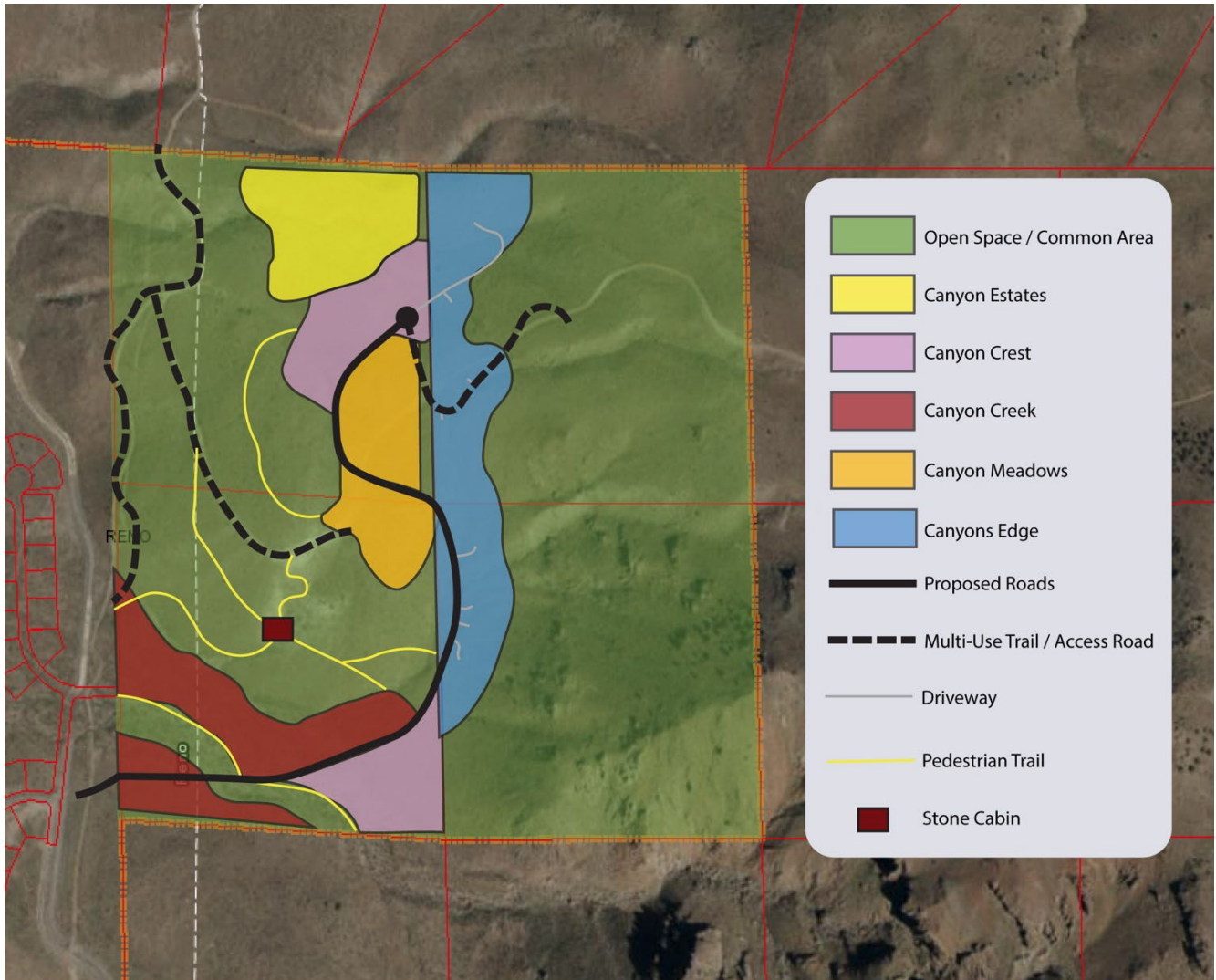


Figure 1-6 – The Canyons Conceptual Land Plan

1.3.3 Canyon Creek

The Canyon Creek village is generally located within the southwestern portion of the PUD area. Canyon Creek is characterized by a major drainageway that essentially splits the village. With the exception of the drainageway, Canyon Creek includes relatively flat terrain (less than 15% slope) and is well suited for suburban development at densities comparable to the adjoining Palisades project to the west. As such, Canyon Creek will include a minimum lot size of 7,500 square feet with lot sizes ranging up to 15,000 square feet.



Canyon Creek serves as the “front door” to The Canyons via an extension of Claim Jumper Way. A grand entry (as detailed in Chapter 2) that highlights the natural canyon backdrop will be located within Canyon Creek and will welcome residents and guests to The Canyons, providing a distinct separation from existing development to the west.

As with all villages within The Canyons, design standards are intended to reduce the amount of onsite grading and allow for innovative approaches to site development. Although the village area is relatively flat, the use of common driveways to serve multiple homes may be permitted to reduce disturbance, protect viewsheds and add visual interest.

As a unique amenity to the community, a small retail component may be included within a privately operated community clubhouse within Canyon Creek or the adjoining common area. As detailed in Chapter 2, retail uses are limited in size and scope and are envisioned for uses such as a small coffee shop, wine bar, or small café directly serving the residents and surrounding area. The intent of the retail use is to provide a walking destination for residents to gather, strengthening the sense of place and community.

1.3.4 Canyon Crest



Canyon Crest is comprised of three smaller village areas that are envisioned to include a mix of semi-custom homes that take advantage of the sweeping site views. Residences within Canyon Crest will adapt to the site topography and will include stepped lots with hillside adaptive architecture (i.e. walk-out basements and walk-up entries). This will greatly reduce site grading and allows for innovative and unique architecture. Similar to Canyon Creek, Canyon Crest may provide opportunity for unique design elements such as common driveways/courts with clustered housing to reduce overall grading disturbance.

A community clubhouse (as previously described) may be located within Canyon Crest. Lot sizes within Canyon Crest are expected to range from 10,000± square feet up to 20,000 square feet.

1.3.5 Canyon Meadow

Canyon Meadow is envisioned as a unique enclave within The Canyons and will include the ability to accommodate duet units. This single family attached product type is appealing to those that wish to have less yard maintenance, etc. Duets will be clustered to preserve open space within the village itself. These common areas can include community amenities and landscaping that afford residents the privileges or landscaped yard areas, community gardens, etc. without the maintenance burden.



Depending on final village design, a sub-association may be implemented within Canyon Meadow for the ongoing maintenance of private amenities. Clustering of units is a key component of the Canyon Meadow design. This not only adds to open space but reduces the overall site disturbance and visual impact. As such, 1,500 is the minimum required lot size within Canyon Meadow. However, the open space and common areas that surround the units will provide the visual appearance of much larger homesites.

1.3.6 Canyon Estates



The Canyon Estates village is located in the northern portion of the PUD area and will include up to 5 custom view homesites. Lots within Canyon Estates will be accessed via a private roadway that will ultimately serve as a secondary emergency access for The Canyons. Lot sizes within Canyon Estates will be a minimum of $\frac{1}{4}$ of an acre in size.

As detailed in the following standards, building footprints and envelope requirements within Canyon Estates are purposely flexible in order to allow for unique and custom home designs. The development standards included in the following chapters will remain applicable and all home designs must conform to the standards and receive approval from the DRC.

The Canyons is somewhat unique in that unit counts for individual villages are not mandated within the PUD. Instead, the design and development standards included in this Handbook will ultimately dictate the number of units based on lot size requirements, setbacks, landscaping, and other design parameters. Therefore, a theoretical maximum number of units is assigned to each village. Total units within The Canyons are capped at ~~8173~~. As a result, units may be transferred within villages depending on how the project develops over time. For instance, if fewer units are built within a single village, they may be transferred to another village. However, all lots must meet the design criteria and requirements included in this Handbook. Maximum unit counts, including the overall ~~8173~~ unit cap, may not be exceeded. Unit transfer requirements and process are documented within the following section.

1.3.7 Canyons Edge

The Canyons Edge is composed of the eastern half of The Canyons PUD (APN #s 016-720-01 and 16) ~~totalling~~totaling 80.22 acres and will include up to eight custom homesites. Lots within Canyons Edge will be accessed from Canyon's Road to ~~a~~private driveways for individual lots. The eight lots will have development standards similar to those of the Canyon Estates. This area defines the end of development with feathering of density, larger lots and primarily open space on the property.



Table 1-3 – The Canyons Land Use Summary

Note: Villages are color-coded to Conceptual Land Plan included in Figure 1-6.

Village	Area	Minimum Lot Size
Canyon Creek	9.95± acres	7,500± square feet
Canyon Crest	9.4± acres	10,000± square feet
Canyon Meadow	2.14± acres	3,000± square feet
Canyon Estates	7.53± acres	32,600± square feet
Canyons Edge	13.00± acres	32,600± square feet
VILLAGE SUBTOTAL	4229.02± acres	-----
Open Space	119.2151.99± acres	-----
PUD TOTAL	161.2381.01± acres	-----

Development standards, regulations, and requirements for all land uses are included in Chapters 2 and 3 of this Development Handbook. Overall units within The Canyons may not exceed ~~8173~~.

Density within The Canyons will be clustered within the various villages shown on the Conceptual Land Plan. Consistent with the underlying City Master Plan designation of Single Family Neighborhood, the total gross density within the PUD boundaries may not exceed that permitted by the SF-15 zoning district (~~8173~~ units).

1.4 HANDBOOK IMPLEMENTATION

1.4.1 Definitions

For purposes of implementation of this Development Handbook, the definitions related to land use included in the City of Reno Municipal Code shall be adopted. For clarification purposes, the following definitions are clarified herein:

- **Administrator** – The City of Reno ~~Community~~ Development ~~Services~~ Director or their designee.
- **Master Developer** – Six (6) Development, Inc. and/or its designee.
- **Guest Builder** – Companies and/or individuals other than the Master Developer applying for entitlements and/or building within an individual phase.

1.4.2 Binding Effect of Handbook

Pursuant to NRS 278A.520 and NRS 278A.570, this Handbook cannot be modified or otherwise impaired by the action of the City without the consent of the Master Developer and any required landowner, except as specified in NRS 278A.410.

The development and build-out of The Canyons will ultimately be dependent on market conditions, and this PUD shall have a 15year completion timeframe. The 15 year timeframe shall commence upon final approval of this PUD (as evidenced by the initial recording date of the certified handbook).

1.4.3 Individual Project Approvals

Individual projects within The Canyons shall be reviewed and approved by the DRC and subject to review processes included in the City of Reno Municipal Code. This includes tentative subdivision maps, special use permits, variances, etc. Although new development shall be reviewed in context with the standards and requirements of this Handbook, all statutory public review requirements set forth in NRS and the Reno Municipal Code shall remain in full effect and shall be applied to new development requests within The Canyons.

1.4.4 Deviations from Handbook Standards

All development within The Canyons shall comply with the standards and requirements of this Handbook. However, it is recognized that unusual or unique circumstances may arise from time to time. Therefore, deviations from standards contained herein, not to exceed 20%, may be granted on a case by case basis with the approval of the Administrator. Additionally, any deviation from the standards of this Handbook must also be approved by The Canyons Design Review Committee (DRC). The DRC, and its organizational characteristics, shall be established with The Canyons covenants, conditions, and restrictions (CC&R's) as proposed by the Master Developer and approved by the Reno City Attorney's Office.

1.4.5 Modifications to Handbook

Upon adoption and recordation, the standards and requirements outlined within this Handbook shall take full effect. Any modification to these standards, land uses, densities, etc. that exceed 20% shall require the review by the City of Reno Planning Commission and approval by the Reno City Council. Modifications to this Handbook or the PUD boundary shall be subject to the review of a Zone Change and the associated requirements and public review defined within the Reno Municipal Code.

1.4.6 Density

Gross density within The Canyons PUD area shall not exceed 0.90 dwelling units per acre. Density within an individual planning area/village may not exceed that defined within Table 1-1. or as further restricted through the provisions and requirements of this Handbook. The maximum number of units within The Canyons PUD may not exceed ~~81~~⁷³. The Master Developer shall be responsible for providing a running-total of units to be provided with each individual tentative map request(s) in order to demonstrate compliance with this standard.

1.4.7 Permitted Unit Transfers

The Canyons Conceptual Land Plan, depicted in Figure 1-6, designates several village areas for residential uses at varying densities (as regulated herein). Permitted units may be transferred from one village area to another under the following conditions:

- (1) Permitted units may be transferred from one village to another within The Canyons PUD. No such transfers will be allowed to or from development areas outside of the defined PUD area.
- (2) Before and after each transfer, the total permitted units for all land use areas shall not exceed ~~81~~⁷³; densities for residential uses may not be exchanged with or converted to non-residential uses.
- (3) Any proposed density transfer shall be subject to the approval of the Master Developer.

1.4.8 Affordable Housing

The PUD will assist the City of Reno in providing affordable housing through the following measures:

- (1) Accessory Dwelling Units (ADUs) and attached products are an allowed use in The Canyons to provide affordability options.
- (2) The Master Developer will enter into an Agreement with the City of Reno to make a donation to the City of Reno or City or designee (as appointed by the City Council) for affordable housing with each unit sold. This shall further be conditioned with each tentative map, giving the City flexibility on providing affordable housing (reference The Canyons Affordable Housing Agreement).

2 DEVELOPMENT STANDARDS

This chapter provides development standards for each of the villages depicted within The Canyons PUD, as well as for dedicated open space areas.

2.1 PURPOSE & COMPLIANCE

The purpose of Chapter 2 is to set regulatory requirements for the various villages and uses located within The Canyons development. These requirements include standards for land use, density/intensity, and for the design of rights-of-way, landscape buffers, trails, entries, etc. All development shall comply with the text, policies, standards, and associated tables and exhibits of this Development Handbook. Where a conflict exists between these development standards and the City of Reno Municipal Code, the standards contained herein shall apply. Where this Development Handbook remains silent, the provisions and definitions within the City of Reno Municipal Code Title 18 shall apply.

2.2 LAND USE DEVELOPMENT STANDARDS

2.2.1 Residential Villages

The residential land uses within The Canyons allow a variety of housing densities and types including conventional suburban development, semi-custom and custom homes, and duets (attached single family). Additionally, a community clubhouse that incorporates limited retail/mixed use is permitted. Four residential villages are identified and described in Chapter 1 and depicted on The Canyons Conceptual Land Plan. Standards for development within these villages are defined herein.

Permitted uses and those uses requiring a Site Plan Review and/or Special Use Permit are contained in Table 2-6, Land Use Matrix. The Design Review Committee (DRC) and the Administrator shall determine the appropriateness of uses not specifically outlined in Table 2-6. Park facilities are a permitted use in all residential land uses.

Canyon Creek

Canyon Creek allows for single-family residential units at suburban densities comparable to adjoining projects. Canyon Creek is envisioned to include a mix of single-and two-story units on padded lots. Mass grading of development pads may occur within Canyon Creek subject to the grading provisions of this handbook.



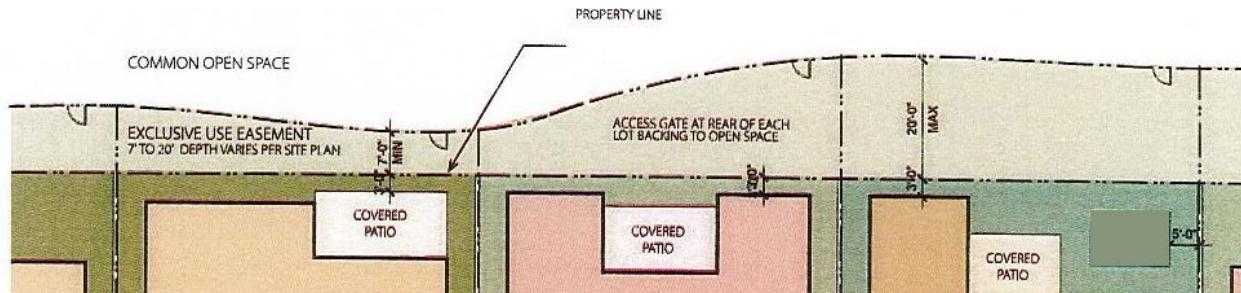
The drainageway that traverses Canyon Creek shall be maintained. Any disturbance or rerouting of this drainageway shall be subject to the standards contained herein and subject to the review and approval of a Special Use Permit (SUP) by the City of Reno.

Table 2-1 – Canyon Creek Development Standards

VILLAGE	CANYON CREEK	
DESCRIPTION	Canyon Creek is intended to provide single family detached homes in a variety of lot configurations and styles. Typical housing types include standard single family detached at suburban densities. Duets may be permitted if they comply with the architectural style and character of the surrounding product types.	
BUILDING INTENSITY		
Lot Size (minimum)	7,500 square feet	Note: Building height shall be measured as defined in the Reno Municipal Code. Architectural elements exceeding 35’ may be permitted with DRC review. Duet lots may be reduced to 3,750 sq.ft.
Minimum Lot Width	65 feet	
Building Height	35 feet (2 stories) maximum	

VILLAGE		CANYON CREEK	
BUILDING SETBACKS FROM PROPERTY LINES			
FRONT YARD SETBACKS			Note: Homes that include both front and side entry garages shall maintain a minimum setback of 15 feet to the side load garage and 20 feet to the front load garage. Detached casitas or ADU shall maintain a minimum front setback of 15 feet.
To main structure w/ Front Entry Garage	15 feet minimum		
To Porch	10 feet minimum		
To Front Entry Garage (from public ROW)	20 feet minimum		
To Side Entry Garage	15 feet minimum		
SIDE YARD SETBACKS			
Interior Side Yard	10 feet minimum		
Side Yard Adjacent to Street	10 feet minimum		
REAR YARD SETBACKS	Use Easements Permitted – see Notes below		
To Main Structure	20 feet minimum		
To Deep Recessed Garage	10 feet minimum		
BUILDING PROJECTIONS	Shall comply with Reno Municipal Code Chapter 18.12		
ACCESSORY USES			
Accessory uses shall be permitted pursuant to Reno Municipal Code Section 18.08.203			
ACCESSORY DWELLING UNITS (ADU)			
Accessory Dwelling Units shall be permitted per the standards included herein.			
NOTES			
Exclusive use easements (to the benefit of individual residences adjoining common areas) that allow for use of common area/open space, may be incorporated within Canyon Creek and applies to rear yards. The width of these easements may vary and shall not exceed 20-feet.			

THE CANYONS



Refer to example of Exclusive Use Easement above, as permitted for homes with rear yards adjoining common area/open space. Widths will vary based on factors such as topography, site suitability, viewsheds, etc.

Canyon Crest



Canyon Crest is envisioned to include a mix of semi-custom homes. Homes within Canyon Crest will be designed around the natural site topography and may include a mix of flat and stepped homesites, including both walk-out and walk-up designs. To the extent possible, stepped foundations and hillside adaptive architecture shall be utilized to avoid large cut/fill slopes (refer to Grading standards contained herein).

Table 2-2 – Canyon Crest Development Standards

VILLAGE			CANYON CREST
DESCRIPTION			This village is intended to provide semi-custom detached single family homes. The use of hillside adaptive architecture including walk-out basements, stepped foundations and split-level floorplans is highly encouraged in areas where it can reduce site grading.
BUILDING INTENSITY			
Lot Size	10,000 square feet minimum	Note: Homes that include walkout basements or walk-up architecture may include 3 stories. Building height shall be measured	
Minimum Lot Width	60 feet		
Building Height	35 feet (2 stories) maximum for flat lots 40 feet maximum (3 stories) for stepped lots		

VILLAGE	CANYON CREST	
		as defined in the Reno Municipal Code.
BUILDING SETBACKS FROM PROPERTY LINES		
FRONT YARD SETBACKS		Note: Homes that include both front and side entry garages shall maintain a minimum setback of 15 feet to the side load garage and 20 feet to the front load garage. Detached casitas or ADU shall maintain a minimum front setback of 15 feet.
To Main Structure w/ Front Entry Garage	15 feet minimum	
To Porch	10 feet minimum	
To Front Entry Garage (from public ROW)	20 feet minimum	
To Front Entry Garage (from private ROW)	15 feet minimum	
To Side Entry Garage	15 feet minimum	
SIDE YARD SETBACKS		
Interior Side Yard	10 feet minimum	
Side yard to Adjacent Street	15 feet minimum	
REAR YARD SETBACKS		
To Main Structure	20 feet minimum	
To Deep Recessed Garage	15 feet minimum	
ACCESSORY USES		
Accessory uses shall be permitted pursuant to Reno Municipal Code Section 18.08.203		
ACCESSORY DWELLING UNITS (ADU)		
Accessory Dwelling Units shall be permitted per the standards included herein.		

Canyon Meadow

Canyon Meadow will include a mix of attached single family duet units. These units include small lots requiring less maintenance but shall be surrounded by landscaped common area and amenities that give the visual appearance of a larger homesite.



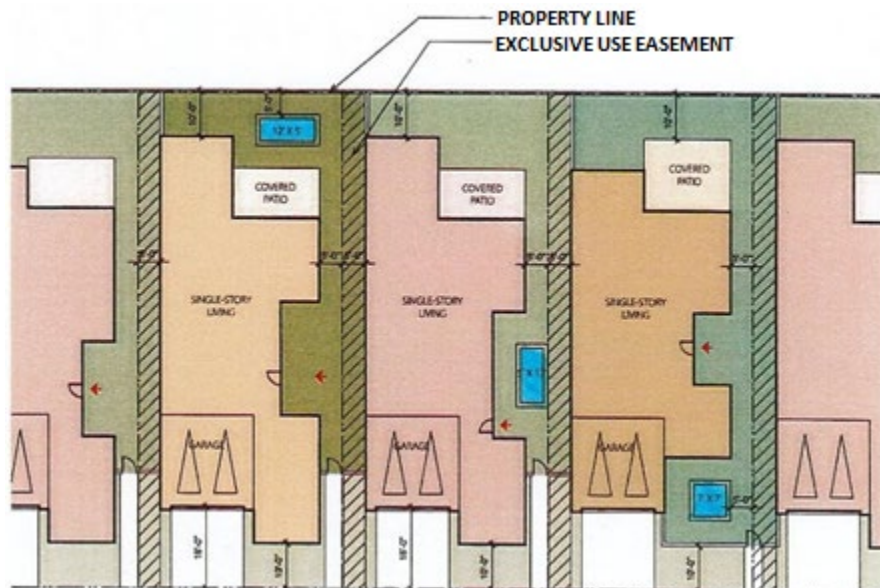
Table 2-3 – Canyon Meadow Development Standards

VILLAGE	Canyon Meadow	
DESCRIPTION	Canyon Meadow includes duet units clustered amongst common areas and community greens. A sub-association may be incorporated for Canyon Meadow should private streets and/or community amenities be incorporated.	
BUILDING INTENSITY		
Lot Size	1,500 square feet minimum	Note: Building height shall be measured as defined in the Reno Municipal Code. Architectural elements exceeding 35’ may be permitted with DRC review.
Minimum Lot Width	30 feet minimum	
Building Height	35 feet (2 stories) maximum	
LANDSCAPING		
Refer to Section 2.3.4 for common area landscape requirements.		
BUILDING SETBACKS FROM PROPERTY LINES		
FRONT YARD SETBACKS		
To Main Structure w/ Front Entry Garage	10 feet minimum	
To Porch	10 feet minimum	
To Front Entry Garage (from public ROW)	18 feet minimum	
To Side Entry Garage	10 feet minimum	
SIDE YARD SETBACKS	Use Easements Permitted – see Notes below	Note: A minimum of 10 feet of separation between duet
Interior Side Yard	0 or 5 feet minimum	

THE CANYONS

VILLAGE	Canyon Meadow	
Exterior Side Yard	5 feet minimum	structures is required.
Side yard to Adjacent Street	10 feet minimum	
REAR YARD SETBACKS	Use Easements Permitted – see Notes below	
To Main Structure	10 feet minimum	
BUILDING PROJECTIONS	Refer to Reno Municipal Code Chapter 18.12	
ACCESSORY USES		
Accessory uses shall be permitted pursuant to Reno Municipal Code Section 18.08.203		
NOTES		
<p>1. Exclusive use easements allowing for use of adjoining parcel may be incorporated by individual developers, allowing use of the adjoining parcel as a side yard for the residence. Easement area may vary and shall be called out on subsequent tentative map(s) and recorded with final map.</p> <p>2. Exclusive use easements (to the benefit of individual residences adjoining common areas) that allow for use of common area/open space, may be incorporated within Canyon Meadow and applies to rear yards. The width of these easements may vary and shall not exceed 20-feet.</p>		

Refer to example below of exclusive use easements permitted within Canyon Meadows. Easements may vary in width and length and are subject to approval by the DRC and to be recorded with final map.



Canyon Estates



Canyon Estates includes large custom homesites accessed via a private roadway extending from Canyon Crest. These lots are not to be mass graded. Rather, grading to accommodate individual custom footprints will occur and is subject to review and approval of the DRC.

Table 2-4 – Canyon Estates Development Standards

VILLAGE	CANYON ESTATES	
DESCRIPTION	Canyon Estates includes up to 5 custom homesites that are accessed via a private roadway.	
BUILDING INTENSITY		
Lot Size (minimum)	32,670 square feet	Note: Building height shall be measures as defined in the Reno Municipal Code. Architectural elements exceeding 35’ may be permitted with DRC review.
Minimum Lot Width	150 feet	
Building Height	35 feet (2 stories) maximum	
BUILDING SETBACKS FROM PROPERTY LINES		
FRONT YARD SETBACKS		Detached casitas or ADU shall maintain a minimum front setback of 25 feet.
To main structure w/ Front Entry Garage	30 feet minimum	
To Porch	20 feet minimum	
To Front Entry Garage (from public ROW)	30 feet minimum	
To Side Entry Garage	25 feet minimum	
SIDE YARD SETBACKS		
Interior Side Yard	10 feet minimum	

THE CANYONS

VILLAGE	CANYON ESTATES	
Side Yard Adjacent to Street	20 feet minimum	
REAR YARD SETBACKS		
To Main Structure	30 feet minimum	
To Deep Recessed Garage	20 feet minimum	
BUILDING PROJECTIONS	Refer to Reno Municipal Code Chapter 18.12	
ACCESSORY USES		
Accessory uses shall be permitted pursuant to Reno Municipal Code Section 18.08.203		
ACCESSORY DWELLING UNITS (ADU)		
Accessory Dwelling Units shall be permitted per the standards included herein.		

Canyons Edge



Canyons Edge includes large custom homesites accessed via private driveways extending from roadways of The Canyons. These lots are not to be mass graded. Rather, grading to accommodate individual custom footprints will occur and is subject to review and approval of the DRC.

Table 2-5 – Canyons Edge Development Standards

VILLAGE	CANYONS EDGE	
DESCRIPTION	<u>Canyons Edge includes up to 8 custom homesites that are accessed via private driveways off of The Canyons roadways.</u>	
BUILDING INTENSITY		
Lot Size (minimum)	32,670 square feet	Note: Building height shall be measured as defined in the Reno
Minimum Lot Width	150 feet	

VILLAGE	CANYONS EDGE		
Building Height	35 feet (2.5 stories) maximum		Municipal Code. Architectural elements exceeding 35’ may be permitted with DRC review.
BUILDING SETBACKS FROM PROPERTY LINES			
FRONT YARD SETBACKS			Detached casitas or ADU shall maintain a minimum front setback of 25 feet.
To main structure w/ Front Entry Garage	30 feet minimum		
To Porch	20 feet minimum		
To Front Entry Garage (from public ROW)	30 feet minimum		
To Side Entry Garage	25 feet minimum		
SIDE YARD SETBACKS			
Interior Side Yard	10 feet minimum		
Side Yard Adjacent to Street	20 feet minimum		
REAR YARD SETBACKS			
To Main Structure	30 feet minimum		
To Deep Recessed Garage	20 feet minimum		
BUILDING PROJECTIONS	Refer to Reno Municipal Code Chapter 18.12		
ACCESSORY USES			
Accessory uses shall be permitted pursuant to Reno Municipal Code Section 18.08.203			
ACCESSORY DWELLING UNITS (ADU)			
Accessory Dwelling Units shall be permitted per the standards included herein.			

2.2.2 Open Space

Open Space Description



The purpose of this land use designation is to provide pedestrian and bicycle trails, community gathering areas and amenities, protection of steep slopes, drainage facilities, opportunities for passive recreational use, parks, and lands that will remain in their natural condition. Typical uses of these areas include trails, passive/active recreational facilities, interpretive center, amphitheater, native and ornamental landscaping, storm drain channels, and erosion protection needed for regional utilities and infrastructure. Parks are an allowed use within open space areas.

Village and Open Space Land Use

Table 2-65 - Open Space Setbacks and Density/Intensity Requirements

TYPE	OPEN SPACE (OS)	
DESCRIPTION	The purpose of this land use designation is to provide pedestrian and bicycle trails, regional trails, protection of steep slopes, drainage facilities, opportunities for active/passive recreational use, and lands that will remain in their natural condition. Typical uses of these areas include trails, passive recreational facilities, interpretive center, native and ornamental landscaping, storm drain channels, and erosion protection needed for regional utilities and infrastructure. Parks and dog parks are an allowed use within open space areas.	
BUILDING INTENSITY		
Building/Facility Height	25 feet maximum	
Building Separation	0 ft. or 20 ft. minimum	
LANDSCAPING		
Landscape Requirement	Site specific to use	
BUILDING SETBACKS FROM RIGHT-OF-WAY		
Public ROW	50 feet minimum	

Private Roadway	25 feet minimum
Property Line	10 feet minimum

TYPE	OPEN SPACE (OS) PRIVATE
DESCRIPTION	The purpose of this land use designation is to provide protection of steep slopes, drainage facilities, and lands that will remain in their natural condition. Typical uses of these areas include native and ornamental landscaping, storm drain channels, and erosion protection needed for regional utilities and infrastructure. Private Open Space is limited to Canyons Edge and will remain in the ownership of the individual lot owners but will have the same restrictions as Public Open Space. In addition to the dedicated area designated as Private Open Space (See Figure 2-4), each parcel within the Canyons Edge development area must provide an additional 1/8 acre of open space in the form of undeveloped land within their respective lots. This requirement may be cumulative in that any two lots together may provide up to ¼ acre of additional open space cumulative.
BUILDING INTENSITY	
Building/Facility Height	25 feet maximum
Building Separation	0 ft. or 20 ft. minimum
LANDSCAPING	
Landscape Requirement	Site specific to use
BUILDING SETBACKS FROM RIGHT-OF-WAY	
Public ROW	50 feet minimum
Private Roadway	25 feet minimum
Property Line	10 feet minimum

2.3 Permitted and Conditional Land Uses

Permitted uses, uses requiring a Site Plan Review or Special Use Permit, and prohibited uses within The Canyons PUD, are provided in the following Land Use Matrix (Table 2-6). This matrix organizes potential uses within the villages and open space, as presented within The Canyons Conceptual Land Plan. The following symbols are used in the matrix to indicate whether a proposed use is permitted, not permitted, or requires additional review procedures from the City of Reno as set forth in the Reno Municipal Code:

P Permitted by right

SPR Site Plan Review required

SUP Special Use Permit required

AN Ancillary Use - Uses only allowed when permitted uses are present for a particular land use

Blank Cell Not Permitted (empty cell)

Those uses not specifically listed in the Land Use Matrix table are subject to review based on the consistency with the purpose and intent of the land use designation and Master Plan included in these Development Standards.

Table 2-76 – Land Use Matrix

	Canyon Creek	Canyon Crest	Canyon Meadow	Canyon Estates	Canyons Edge	Open Space
RESIDENTIAL USES						
Accessory Dwelling Unit (ADU)	P	P		P	P	
Cluster Development	P	P	P			
Congregate Care Facility	SUP	SUP		P		
Detached Accessory Structure – Garage/Shop				P	P	
Group Home	SPR	SPR		SPR		
Hospice	SPR	SPR		SPR		
Single Family Attached – Duet/Duplex	P	P	P			
Single Family, Detached	P	P	P	P	P	

THE CANYONS

	Canyon Creek	Canyon Crest	Canyon Meadow	Canyon Estates	Canyons Edge	Open Space
Single Family, Zero Lot Line	P	P	P			
RECREATION, ENTERTAINMENT, AND AMUSEMENT						
Amphitheater						P
Community Center, Private (see notes)	SPR	SPR	SPR			SPR
Community Garden (includes rock gardens)	P	P	P			P
Community Bicycle Facilities/Pump Track						P
Community Vineyard/Orchard				P	<u>P</u>	P
Fitness Center			SPR			
Public Park or Recreation Area (including dog park)	P	P	P	P	<u>P</u>	P
INSTITUTIONAL, PUBLIC AND COMMUNITY SERVICE						
Communication Facility, Equipment Only	SUP	SUP	SUP	SUP	<u>SUP</u>	SUP
Electric Utility Substation	SUP	SUP	SUP	SUP	<u>SUP</u>	SUP
Library, Art Gallery, or Museum						SPR
Public Transit or School Bus Shelter	P	P	P	P	<u>P</u>	P
Utility Box/Well House, Back-Up Generator, Pumping or Booster Station	P	P	P	P	<u>P</u>	P
Utility Installation, other than listed	SPR	SPR	SPR	SPR	<u>SPR</u>	SPR
Utilities, Major	SUP	SUP	SUP	SUP	<u>SUP</u>	SUP
NOTES						
1. Accessory Dwelling Units shall not exceed 1,200 square feet or 50% of the primary structure, whichever is larger. If 2-story, the second story may not exceed 50% of the first floor area. 2. Detached Accessory buildings (i.e. garages, workshops, etc.) shall not exceed 700 square feet and shall be subject to setback standards for the village in which they are located. 3. Community center may include a tasting room, coffee shop, or similar and shall not exceed 1,000 square feet. 4. Garden sheds, up to 200 square feet, shall be permitted within Canyon Estates, subject to applicable setback standards.						

2.4 ROADWAY STANDARDS

2.4.1 Circulation Plan

As a relatively small PUD, the circulation plan for The Canyons is fairly simple. Primary access to The Canyons will occur via an extension of Claim Jumper Way. This roadway will extend east into the PUD boundary and then traverse north to serve the Canyon Creek, Canyon Crest, ~~and~~ Canyon Meadow, and Canyons Edge Villages. Two private roadways will extend east and further north from the north terminus of the Claim Jumper Way extension to serve four of the Canyons Edge lots and to connect to the TMWA parcel. Additionally, an extension of Mine Shaft Drive east into the PUD area will serve new units within Canyon Creek on the north side of the major drainageway.

Canyon Estates will be served by a private roadway that extends from within upper Canyon Crest. This road will also serve as a secondary emergency access road that ultimately connects into the Palisades project to the west. Alternatively, the existing power line road may be improved to meet the secondary access requirement. Both of these options require review and approval from any applicable underlying property owners/easement holders and shall be acceptable to the Reno Fire Department.

With submission of any future tentative map, the Master Developer may choose to change the existing street names (Claim Jumper Way and Mine Shaft Drive) at the PUD boundary. Renaming of roadways is subject to the review and approval of the Washoe County Regional Street Naming Committee and the Reno Fire Department. No change to roadway names within existing subdivisions shall occur.

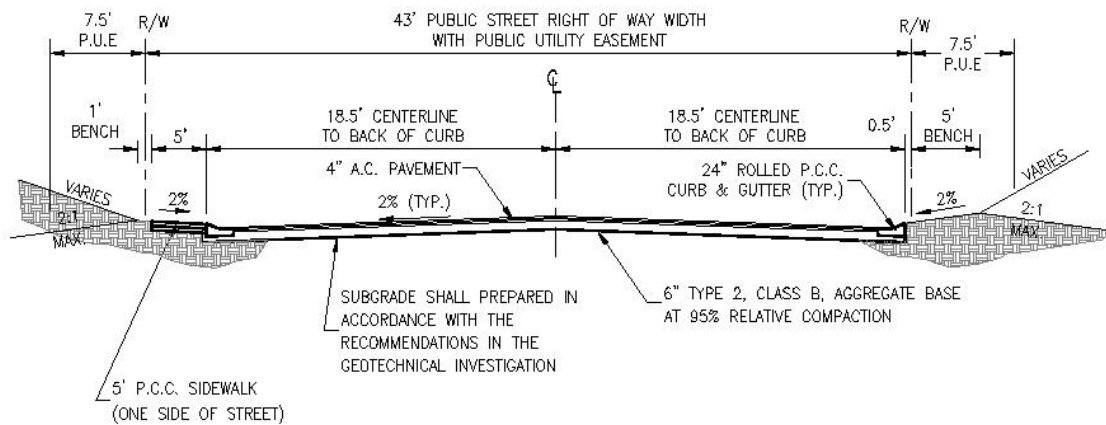
2.4.2 Roadway Design

Public roadways within The Canyons will include local roads, private roads, and private driveways. A modified road section is included for local roadways within The Canyons. Local roads will include a 5-foot sidewalk on one side of the street and implement rolled curbs. Rolled curbs will include a 6-inch concrete section per City of Reno standards. Speed limits for roadways within The Canyons shall be limited to 20 miles per hour.

Private roads accessing individual lots (i.e. Canyon Estates) shall include a 20-foot paved roadway section. Secondary access roads shall be 20-feet in width and include an all-weather surface (to the satisfaction of the Reno Fire Department). Curb, gutter, and sidewalk are not required on private road/emergency access sections. Instead, roadside ditches will be incorporated to convey storm water flows to the approval of the City of Reno Engineering Department (refer to Figure 2-1 on the following page).

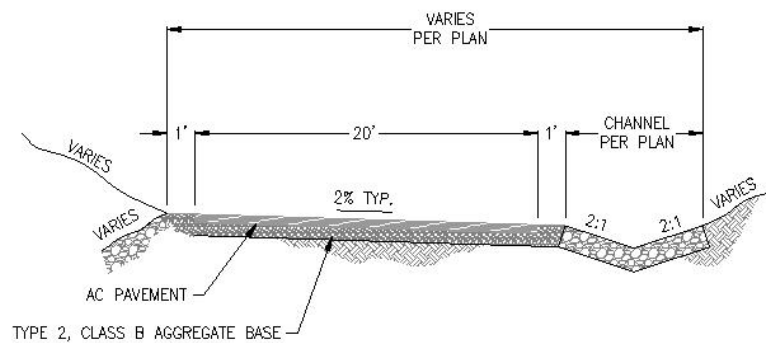
Private driveways serving more than 2 units are permitted within all The Canyons Villages. Private driveways shall include a 20-foot paved section. No sidewalks or curb/gutter are required for private driveways. Driveways that extend further than 150-feet shall include a turnaround (i.e. hammerhead) for emergency vehicles to the approval of the Reno Fire Department.

Figure 2-1 (below) depicts the street sections included within The Canyons.



LOCAL STREET

SCALE: N.T.S.



EMERGENCY ACCESS ROAD

SCALE: N.T.S.

Note: Local street section may be narrowed to include 12-foot travel lanes in areas where no residences abut roadway.

Figure 2-1 – Roadway Sections

Entry Features and Traffic Calming

The Canyons will include a landscaped entry feature that includes a landscaped center median. Additionally, traffic calming medians may be incorporated into local streets. Traffic calming may include a landscaped center median. Landscape medians, if included, shall be approved by the DRC and located to allow for proper sight distance to the approval of the Reno Fire Department.



Should safety rails be required along any roadway, the use of rockery “k” rails in lieu of metal guard rails shall be permitted. All guard and safety rails shall comply with AASHTO requirements.



Construction

Sidewalks and landscaping with medians (if incorporated) are to be installed with the construction of the adjacent roadway. This applies to landscaping within the rights-of-way.

Maintenance

Landscaping located within the right-of-way, landscape buffers, or easements adjacent to public rights-of-way shall be maintained by The Canyons HOA and/or a sub-association established with the approval of the Master Developer. Landscape buffers may be dedicated as individual/separate parcels in which they shall be owned by either the Master Developer or HOA and maintained by the HOA.

The City of Reno shall be responsible for the maintenance of all public sidewalks within the public right-of-way or within parcels dedicated for public use such. A public access easement shall be granted to the City of Reno for all sidewalks/trails located outside the right-of-way. An access easement shall be granted to the HOA for all landscape areas within the right-of-way.

Private roadways and driveways shall be maintained by the HOA or a sub-association approved by the Master Developer. The Master Developer may also choose to form a private maintenance association for the ongoing maintenance of private roadways within The Canyons. All private rights-of-way shall be maintained to City of Reno standards, including snow removal/plowing during winter months.

2.5 Street Lighting

The lighting for The Canyons will be designed to enhance the quality and safety of the streetscape corridors while maintaining City of Reno dark skies standards. Lighting design will contribute to the overall atmosphere by reinforcing the community structure through a cohesive, identifiable palette of materials. Lighting design will be reviewed and approved by the DRC and the City of Reno. Lighting located within the right-of-way of public roadways and other public common areas will be installed by the Master Developer and maintained by NV Energy or the City of Reno (for standard poles/fixtures). This section provides lighting standards for local streets, as well as pedestrian, landscape and sign lighting within The Canyons.

The goals of these lighting standards are to:

- (1) Provide a safe level of illumination for both motorists and pedestrians.
- (2) Reinforce the pedestrian scale of the community; and
- (3) Allow for quality lighting design that reflects Theme of the community

Roadways

GENERAL REQUIREMENTS:

- a) Lighting fixture types may be of a consistent scale, design and color along street corridors
- b) Lighting fixture types may differentiate use areas within The Canyons.
- c) Street lighting may be directionally shaded to reduce offsite fugitive light and glare.

Table 2-87 – Streetscape Lighting Standards

Roadway Classification	Location	Maximum Height	Placement	Spacing
Local	All public streets within a parcel or subdivision.	15 feet	City of Reno Standards	Spacing Varies and subject to City of Reno approval
Private	No minimum requirement – at discretion of Master Developer	15 feet	Located at primary intersections	Spacing Varies and subject to City of Reno approval

The Canyons may include decorative light fixtures that are non-NV Energy standards. Should this occur, maintenance of lighting fixtures shall be the responsibility of The Canyons HOA or designated sub-association or maintenance association.

Light poles within The Canyons may include the use of stone to reinforce the overall project theme. Light poles will be located per City of Reno standards. All non-standard light poles within the public right-of-way will be maintained by the HOA, sub-association, or maintenance association.

The photo to the right depicts conceptual lighting standards for The Canyons. Lighting fixtures/pole design may vary and are subject to review and approval by the DRC. All lighting within The Canyons shall include low-pressure sodium (LPS) lamps or other dark-sky alternatives.



2.6 Entries

The consistent treatment of community gateways and residential neighborhood entries will help establish a consistent community character, while allowing a variety of entry treatments and identities for individual neighborhoods. The design of entries shall be reviewed and approved by the DRC and the City of Reno.

2.6.1 Community Gateway

A community gateway will be located at the primary project entry, welcoming residents and guests to The Canyons. The community gateway is to be constructed with the first phase of development by the Master Developer and maintained by the HOA.

General Requirements:

- a) Community entry monumentation shall be designed to clearly identify and establish the overall image of The Canyons. The design of the community entry monumentation shall incorporate historical context through materials, tone and texture.
- b) The gateway shall be placed at the primary entry to The Canyons located at the southwest portion of the site, along the Claim Jumper Drive extension.
- c) The community gateway may be located on both sides of the public right-of-way and may include a median feature. Walls, landscaping, and signage associated with the gateway feature shall be located within dedicated common area maintained by the HOA. Median landscaping and treatments may be located within the public right-of-way but shall be maintained by the HOA.
- d) Lettering should be no more than two feet high and may include a community logo with a concealed light source illuminating the monument.
- e) The gateway shall incorporate the overall Desert Contemporary theme of The Canyons, as described in Chapter 1. This includes the use of native rock, timbers, etc. reminiscent of the PUD area accented by formal and informal landscape plantings.

- f) The landscape theme shall incorporate native materials, predominantly designed to look natural and wild, with some manicured ornamental landscaping where necessary.
- g) The community gateway shall be located outside the sight visibility triangle at road intersections.
- h) Final design of the community gateway shall be reviewed and approved by the DRC and the City of Reno for consistency with this Handbook.
- i) The community gateway design shall be consistent with the concepts presented in Figure 2-2.



Figure 2-2 – Community Gateway Concept

2.6.2 Neighborhood Entry Requirements

- a) A neighborhood entry treatment shall be placed at the primary entrance to villages. The entry treatments may be placed on both sides of the entry road.
- b) Entry treatments shall be located outside the sight visibility triangle of the road intersection.
- c) Neighborhood entry treatments shall be designed with similar characteristics to that of community gateway, but on a smaller scale. Entry monuments shall incorporate the indigenous materials of the Virginia Range. This can be accomplished through the use of rock, timbers and tone and texture of the area. Designs that sharply contrast with the native landscape are prohibited.
- d) The landscape theme shall incorporate native materials, predominantly designed to look natural and wild, with some manicured ornamental landscaping where necessary.
- e) A neighborhood entry treatment shall include a minimum of 15 trees. Minimum tree sizes are as follows:
 - Deciduous trees shall be a minimum 2 inch caliper
 - Evergreen trees shall be a minimum 6 feet tall
 - Specimen trees shall be a minimum 2 inch caliper
- f) Refer to Chapter 3 for additional elements of neighborhood entries. Refer to Figure 2-3 for Neighborhood Entry examples.
- g) Neighborhood entry treatments shall be reviewed and approved by the DRC and the Administrator with each project and maintained by the Master Developer, HOA, or Sub-Association.

THE CANYONS

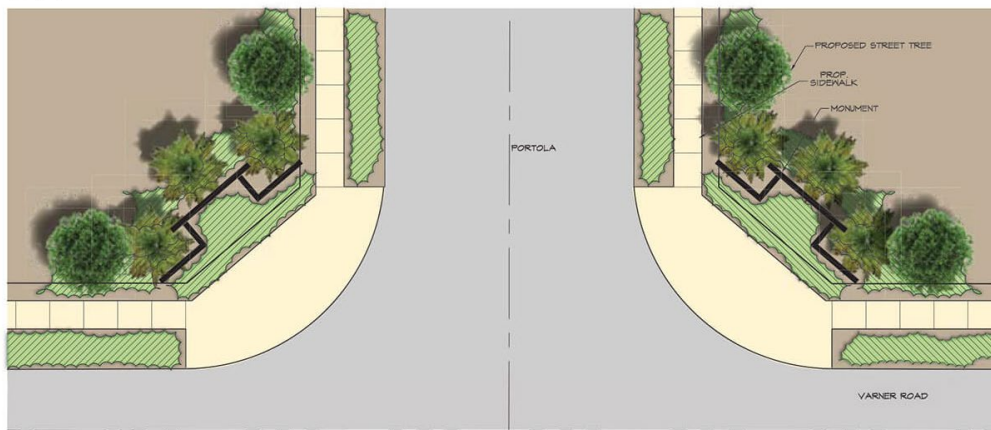


Figure 2-3 – Typical Neighborhood Entry Concept

2.7 Trails

The Canyons includes a series of paths, trails, and sidewalks that tie the community together. Multi-use trails are provided which allow both pedestrians and bicyclists. Sidewalks and trails are located within common areas and open space. Altogether, The Canyons incorporates nearly 1.5 miles within the community system. Final design of paths will be reviewed and approved by the DRC and the Administrator.

Sidewalks and trails (if applicable) shall be built with the construction of the adjacent roadway by the party responsible for the installation of the adjacent improvements. Sidewalks may be detached from the street and meander in order to enhance pedestrian safety or provide access to open space areas, at the discretion of the Master Developer. The City of Reno shall be responsible for the maintenance of all sidewalks within the public right-of-way. All sidewalks to be dedicated and/or maintained by the City of Reno shall be constructed to City of Reno design specifications. Community trails and paths located within common and open space areas shall be maintained by the HOA.

2.7.1 Multi-Use Trails

Multi-use trails/paths are designed to provide pedestrian and bicycle connections within the community and are located within open space/common areas. Unlike formal sidewalks, multi-use trails may be constructed of either concrete, asphalt, or an all-weather surface such as decomposed granite and/or local indigenous rock. The following standards apply to multi-use trails:

- a) Multi-use trails shall be a minimum of 3-feet in width.
- b) All multi-use trails located within open space/common areas shall be owned and maintained by the HOA or sub-association (with DRC approval).
- c) Final location of multi-use trails shall be constructed concurrently with adjacent projects. Trail location and design shall be reviewed and approved by the DRC and the Administrator.
- d) Trails shall be designed to maintain a natural appearance and follow natural topography to the extent possible. Trails shall not be lined with borders that result in a manmade or manufactured appearance but should incorporate an organic design that puts forward an appearance they were developed over time. Refer to Figure 2-5 for examples.

- e) Wayfinding and markers for trail network along with benches shall include the use of natural materials. Refer to Figure 2-5.
- f) Illumination of wayfinding signs and trails shall be prohibited except for those leading to community features within open space areas such as amphitheaters, structures, etc. These may be illuminated with lighting not to exceed 3 feet in height, at the discretion of the Master Developer and must be approved by the DRC.
- g) Trail location shall be consistent with The Canyons Open Space and Trail Plan. Refer to Figure 2-4.

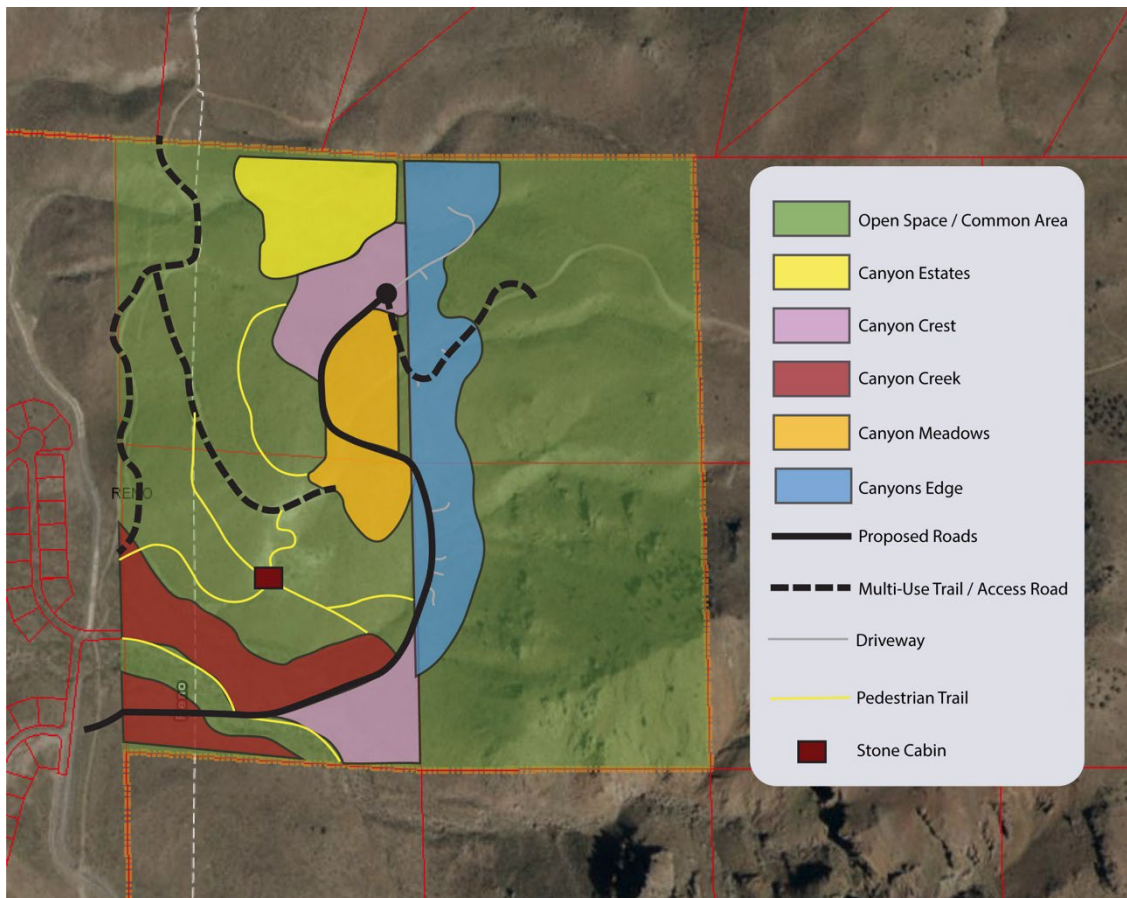


Figure 2-4 – The Canyons Trail and Open Space Plan

THE CANYONS



Figure 2-5 – Trail Concepts

2.7.2 Trail Access Points

Trail access points shall be incorporated within residential villages and shall be constructed by the Master Developer (or their designee) with the appropriate projects. Trail access points provide pedestrian links to the community trail network and shall be located to best provide overall community connectivity. Trail access points will be maintained by the HOA. Therefore, trail access point locations shall be reviewed by the DRC and the City of Reno with the approval of each individual tentative map and/or project within The Canyons.

Subdivisions and/or projects that abut open space and/or common areas shall be required to provide a minimum of one trail access point that includes a pedestrian link to the community trail network.

2.8 Open Space

Open Space areas within The Canyons are intended to preserve natural site features, create wildlife corridors, provide for community amenities, and allow for active and passive recreation. Open space areas will be maintained by the HOA and will be limited in use per the regulations of this Handbook.

2.8.1 Open Space Amenities

While the majority of open space within The Canyons will remain natural and undisturbed. It is recognized that the unique features of the site have potential for community amenities that promote history of the area, encourage social interactions, and can build a true sense of community. As such, the following standards are developed.

- a) A community gathering space that includes a “stone cabin” and attached amphitheater shall be permitted as shown on Figure 2-6. This amenity will accommodate community performances, interpretive programs, etc. and is envisioned as a neighborhood gathering center.
- b) The stone cabin shall be constructed of native rock and incorporate a historic design that gives the appearance that the structure has been located onsite for a long period of time. Refer to Figure 2-6 for cabin design concepts.
- c) The stone cabin structure shall be limited to no more than 400 square feet and shall be maintained by the HOA. Final cabin design is subject to approval by the DRC.

THE CANYONS

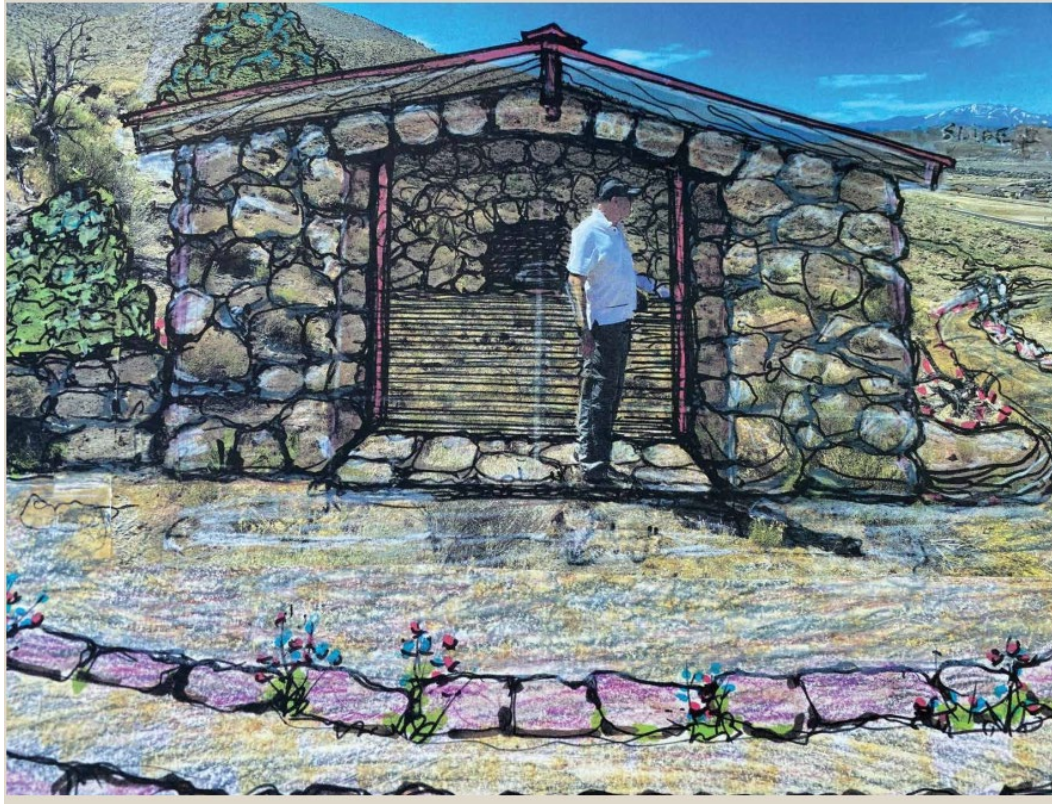


Figure 2-6 – Stone Cabin/Open Space Amenity Concepts

THE CANYONS



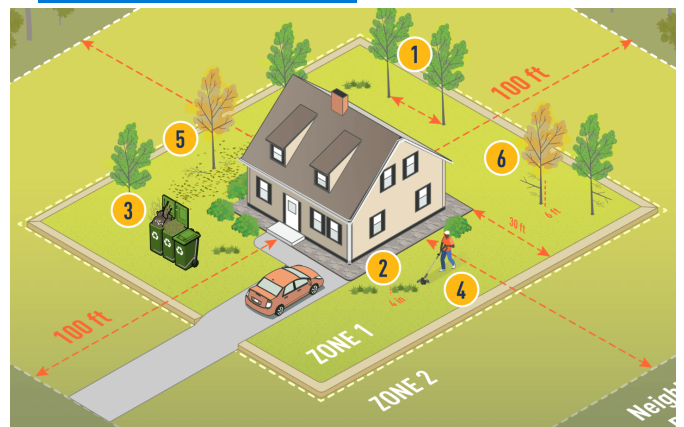
Figure 2-7 – Open Space Amenity Concepts

- d) An amphitheater may be developed adjacent to the cabin and is envisioned to allow for community events such as summer concert series, small performances, nature programs, etc.
- e) Seating for the amphitheater shall be incorporated into the natural site terrain. If formal seating is provided, it shall be constructed of native rock designed to blend with the natural environment. Refer to Figure 2-8.
- f) Amphitheater seating shall have a maximum capacity of 200.
- g) Amplified music/voice shall only be permitted between the hours of 12:00 pm and 8:00 pm Sunday through Thursday and 12:00 pm to 9:30 pm on Friday and Saturday and shall not exceed 65Db at any residential property line.
- h) Lighting of the cabin area and amphitheater shall be limited to bollard style lighting no more than 4-feet in height.
- i) Community amenities such as shared gardens, vineyards, olive orchards, etc. shall be permitted within open space areas with approval by the DRC. Amenities that result in grading of over 200 square feet shall be subject to the review and approval of a Site Plan Review by the City of Reno in order to ensure compliance with the standards contained herein.

2.9 Urban/Wildland Interface/~~Wild Horse Corridor~~Virginia Range Interface

The Canyons is located within an urban/wildland interface area subject to wildfires. As such, the following standards shall apply:

- a) New development that abuts open space and/or natural areas shall provide a minimum of 30-feet of defensible open space adjacent to homes with a 100-foot buffer zone to include minimal plantings, consistent with standards adopted by the Reno Fire Department (RFD). Refer to exhibit on right.



- b) With individual tentative maps and/or project approvals, RFD shall have the ability to condition site specific fire mitigation requirements such as increased defensible space, specific plant palettes, etc.

- c) The Canyons HOA shall be responsible for the maintenance of common areas outside of individual lots to ensure weeds and other combustibles are removed in order to maintain a minimum of 20-feet of defensible space from the property line of an abutting unit.
- d) With new development, access to open space areas shall be coordinated with the RFD to allow for fire equipment to access open space/common areas during a wildfire event.
- e) A vehicular access for emergency vehicles shall be maintained year round on the private secondary access road maintained by the HOA.
- f) In accordance with NRS 569.431, the Master Developer (or their assignee) shall erect a preconstruction fence with no gaps to prevent feral horses from entering construction areas.
- g) Cattle guards with welded “hoof stops” and self-closing gates that open out shall be installed at all locations where roadways cross the Perimeter Fencing. Refer to Figure 2-8.
- h) A six-foot wide pedestrian self-closing gate that opens out shall be installed at all locations where sidewalk/pedestrian pathways/trail access points cross the Perimeter Fencing. Pedestrian gates installed near cattle guards may double as emergency exits for horses that become stuck inside the gate. Refer to Figure 2-8.
- i) Perimeter Fencing shall be maintained by applicant during construction and maintenance responsibility shall be transferred to a homeowner’s association upon formation. Applicant or association shall maintain a contract for on-call fence repair to expedite response (within 48 hours of notice where feasible) to repairs as needed.
- j) Applicant will not install streetscape turf within 200 feet of the cattle guards/roadway crossings referenced above.
- k) Where open channel drainage facilities cross the Perimeter Fencing on the Property, large rip-rap will be installed in the drainage channel abutting the Perimeter Fencing.
- l) ~~During At the time of~~ construction, a gate monitor for roadway crossings with an emphasis on monitoring areas on the Property with potential ingress/egress to existing improved areas is required. If fence is found to be damaged, repairs must be made immediately (with 3 days) Refer to Figure 2-8.
- m) Install a minimum of two street signs that provide information to drivers and pedestrians about horse safety.
- n) Install a viewing platform with an interpretive sign that identifies laws regarding feeding and short history of the horses.

THE CANYONS

THE CANYONS HORSE FENCING PLAN

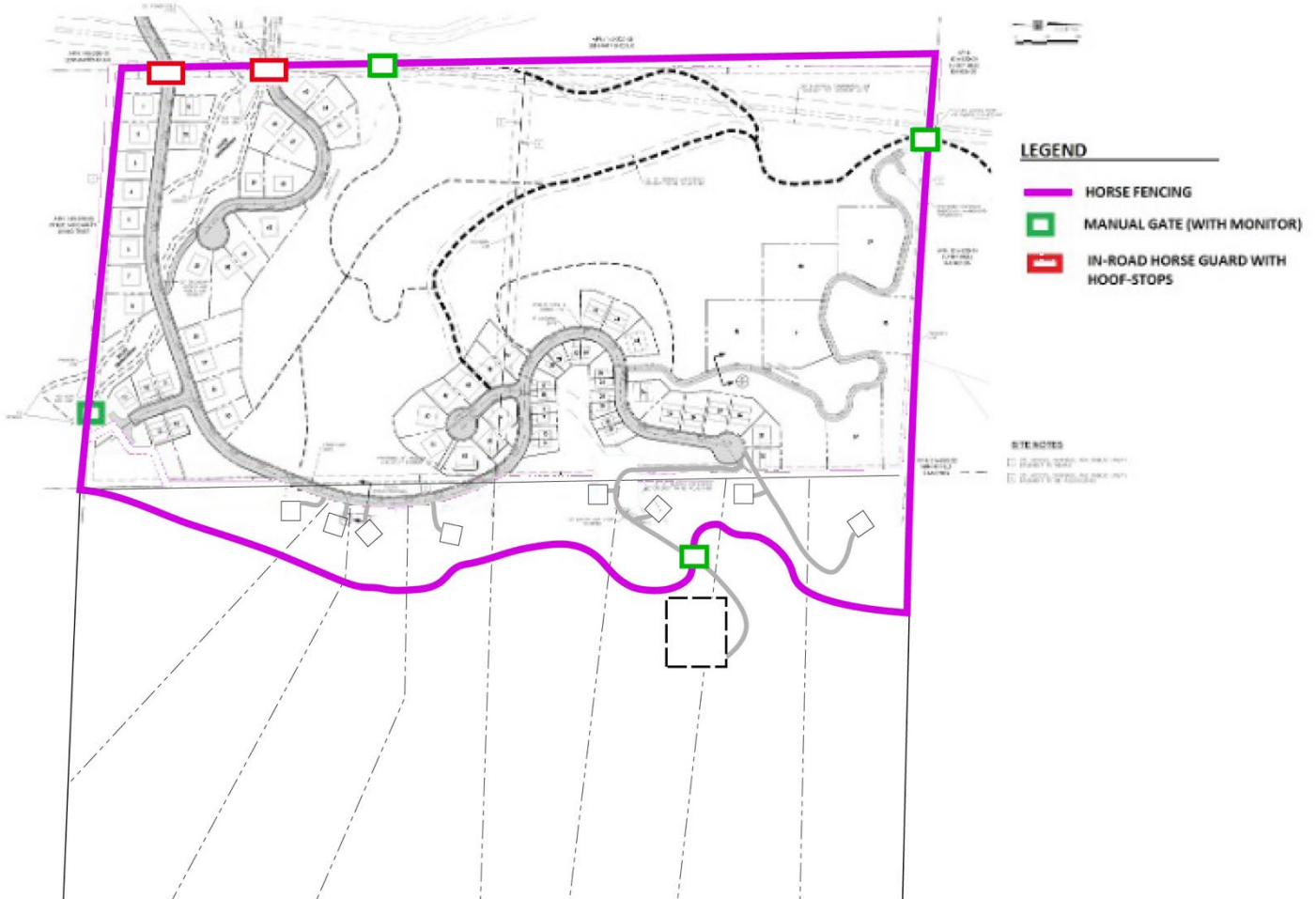
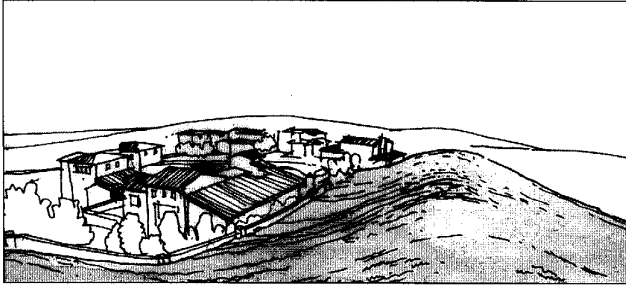


Figure 2-8 – Horse Fencing Plan

2.10 Grading

Grading within The Canyons shall respect the natural topography of the site and be designed to reduce the amount of overall site disturbance. In addition to Reno Municipal Code requirements, the following standards shall apply:



Berms shall be used to help screen hillside development and utilitarian features where topography warrants it. From public view, the berm shall completely hide development and other structures, providing a view of natural slope face where topography warrants.

a) Design of residential neighborhoods shall be sensitive to the natural terrain. Structures shall be located in such a manner so as to minimize necessary grading and preserve natural site features including drainageways, slopes in excess of 30%, rock outcroppings, etc.

b) Grading of subdivisions or pad sites shall be designed to blend the edges of development with the adjoining natural terrain. This may be accomplished through the use of rockery walls or stepped foundations in order to reduce the length of man-made slopes, etc.

c) Landscaping and native revegetation shall be the preferred method of slope stabilization as opposed to rip rap on all manmade slopes. If rip rap occurs, it shall be covered with soil and revegetated with a native seed mix.

d) Graded slopes shall be rounded resulting in smooth, harmonious transitions between the man-made terrain and the natural terrain.

e) Graded slopes shall be revegetated prior to the issuance of a certificate of occupancy for new homes. This standard may be phased with the phased development of individual projects (i.e. slopes shall be revegetated concurrently with development within any given phase). If climatic conditions or other circumstances prevent planting at the time of occupancy, a bond shall be provided for landscaping during the subsequent growing season to the satisfaction of the Administrator.

f) Drought tolerant plant species and native reseeding shall be utilized to help minimize erosion.

g) Slopes contained within individual lots as a result of terracing shall be maintained by the property on the down slope side.

h) All grading shall comply with the requirements and disturbance limitations as set forth in the Reno Municipal Code, Sections 18.12.1601-.1614 (Hillside Development)

2.11 Mailboxes

Individual mailboxes shall be paired at driveways to serve adjacent homes, if allowed by the United States Postal Service (USPS). The style of the mailboxes, including address numbers shall be compatible with the architectural styles of the homes and shall be consistent throughout each project within The Canyons. Mailbox designs shall be approved by The Canyons DRC and the USPS. Mailboxes shall be provided and installed by individual builders prior to the issuance of certificates of occupancy for the individual homes.

When individual mailboxes are not permitted, clustered boxes shall be located in convenient areas conducive to temporary on-street parking. Placement of cluster boxes shall not be near intersections and shall not conflict with individual driveways or utilities. Locations shall be approved by the USPS and the DRC. USPS shall be responsible for the maintenance of mailboxes/mailbox cluster boxes within The Canyons.

3 SITE DESIGN AND ARCHITECTURAL STANDARDS

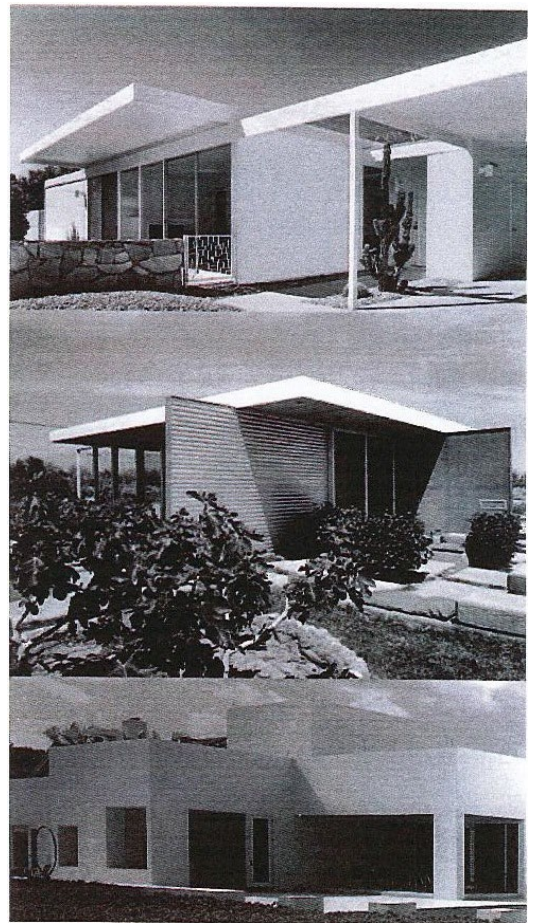
3.1 Overview

The purpose of this chapter is to establish base standards and design parameters for which future development within The Canyons shall follow. These standards will guide the development of the PUD area by providing specific design criteria for grading, building orientation, landscaping, lighting, signs, walls and fences, and other design elements that tie the community together. Implementation of these standards will help to create the sense of place discussed in Chapter 1.

The Canyons aims to set itself apart from other communities within the marketplace through the establishment of its Desert Modernism theme. Inspiration for the architectural standards comes from the vibrant modern architectural heritage of the desert West. Architecture within The Canyons is intended to provide sleek modern homes that embrace the natural environment of the site. The dramatic backdrop of the site along with expansive views of the Truckee Meadows inspire a design aesthetic of mid 20th Century Desert Modernism, as detailed within this chapter.

Architectural standards and guidelines are provided to ensure projects within The Canyons are attractive, relate to one another, and reinforce the project theme. The pictures contained in this chapter are provided to convey “imagery” of the standards and guidelines but are not intended to restrict creativity or site adaptability. Instead, the Design Guidelines create a theme for buildings and landscaping within The Canyons in order to protect, maintain, and enhance property values while reinforcing the community’s sense of place. The concepts and implementation techniques set forth herein are not meant to discourage unique design solutions, rather they embody the intent of the design for The Canyons.

As new projects (i.e. tentative maps) move ahead within The Canyons, they shall be reviewed in context with the standards included within this chapter. This includes review by the The Canyons Design Review Committee (DRC) and City of Reno to determine consistency with site design and architectural standards.



3.2 Site Planning Guidelines

The purpose of the site planning standards and guidelines is to address general provisions of site development which include building orientation, landscape, lighting, signs, and walls and fences. Site planning controls the proper placement of buildings and internal roads that service and access the various areas of the community. It addresses the linkages and land use relationships at a human-scale, in order to create a stimulating and visually pleasant community. The goal is to promote pedestrian activity and safety, create visual compatibility with surrounding neighborhoods, and minimize negative impacts on the natural environment.

Site planning, architectural design, and landscape design shall be consistent throughout The Canyons in order to promote neighborhoods that fully integrate with one another. There are a variety of methods to accomplish this including the use of consistent fencing, landscape treatments, design elements such as neighborhood entries, etc. Furthermore, this will be reinforced with the Desert Modernism design theme that is further described herein.

Individual neighborhoods within The Canyons shall promote visual diversity and avoid monotonous development patterns. Methods to achieve this include, but are not limited to: not repeating floor plans/elevations directly next to each other, providing for a minimum of two distinct elevations for each home plan (for non-custom villages), designing homes so that the garages are integrated into front elevations, varying setbacks within the neighborhood, including design elements such as outdoor living spaces, 8-foot entry doors, decks, covered patios, etc. Additionally, hillside adaptive architecture (i.e. walk-out basements and split-level floorplans) will be required for certain areas within The Canyons in order to reduce the amount of necessary site grading.

Standards:

The following standards and guidelines promote visual diversity within individual neighborhoods:

- a) To the extent practical, mirroring of facades shall occur between lots so that garages and entries are adjacent to each other. This creates variations in setback, providing for a more visually diverse streetscape. The pattern shall include breaks so that it creates variation with patterns across the street and does not become overly repetitious. This standard shall not apply to zero lot line products.



- b) Front elevations that face the street shall integrate garages to the extent possible. Methods to achieve this include off-setting the garage matching the garage architecturally with the primary façade, or incorporating alternatives such as side load or split garages (see example to left)

THE CANYONS

- c) Neighborhoods that border the community trail system shall provide for a point of connection with final neighborhood design. Connection points can occur at the end of cul-de-sacs or within dedicated public access easements located within common open space. Trail connection points shall provide a minimum width of 8 feet and transition to the natural trail design described previously in Chapter 2.
- d) Single family lots that abut common areas and open space shall utilize open rear yard fencing. This is intended to provide a sense of openness within common areas and avoids a “walled off” appearance.
- e) In order to reduce the amount of grading required, the use of stepped building pads shall be required for lots in areas where significant visual scarring would otherwise occur (see examples below).



3.3 Grading

Individual projects within The Canyons shall include a site-sensitive grading approach that minimizes cut/full slopes and includes techniques to reduce visual scarring including hillside adaptive building pads, use of rockery walls, and native revegetation. Standards not specifically addressed herein shall be subject to the provisions of the Reno Municipal Code.

Standards:

- a) Design of residential neighborhoods shall be sensitive to the natural terrain. Structures shall be located in such a manner so as to minimize necessary grading and preserve natural site features including drainageways, slopes in excess of 30%, rock outcroppings, prominent knolls, etc.
- b) Grading of subdivisions or pad sites shall be designed to blend the edges of development with the adjoining natural terrain. This may be accomplished through the use of rockery walls in order to reduce the length of man-made slopes, etc.
- c) Landscaping and native revegetation shall be the preferred method of slope stabilization as opposed to rip rap on all manmade slopes.
- d) Graded slopes shall be rounded resulting in smooth, harmonious transitions between the man-made terrain and the natural terrain.
- e) Graded slopes shall be revegetated prior to the issuance of a certificate of occupancy for new homes. This standard may be phased with the phased development of individual projects (i.e. slopes shall be revegetated concurrently with development within any given phase). If climatic conditions or other circumstances prevent planting at the time of occupancy, a bond shall be provided for landscaping during the subsequent growing season to the satisfaction of the Administrator.
- f) Drought tolerant plant species and native reseeding shall be utilized to help minimize erosion (refer to approved seed mix).
- g) Slopes contained within individual lots as a result of terracing shall be maintained by the property on the down slope side.
- h) Rockery walls within common area or open space shall be inspected annually and maintained by the HOA.



- i) Adequate protection against rockslide areas, as determined by the geotechnical report, shall be provided to ensure rockslides will not enter any private lots or fall onto any road. Said mitigation measures shall be architecturally compatible with all proposed fences and walls (e.g. gabion basket barrier, mesh nets or wire panels with colors matching natural rock, stabilization methods such as soil nails or rock anchors that do not cause scarring and meet all grading standards).

3.4 Landscaping

The intent of The Canyons landscape standards is not to create stark contrasts between new development and the natural environment. Rather, landscaping standards encourage the use of native and drought tolerant plantings in order to embrace the site features and blend the community with the natural environment.

Standards:

- a) Individual builders shall be responsible for landscaping the front yards of new homes within The Canyons. Front yard landscaping shall be completed with the issuance of a certificate of occupancy and pre-approved by the DRC. In instances of inclement weather, front yard landscaping may be completed within 3 months of final certificate of occupancy with DRC approval.
- b) Front yard landscaping shall include an automatic irrigation system.
- c) At a minimum, each individual front yard shall include one tree per 400 square feet of yard area.
- d) Neighborhoods with common yards (i.e. community greens) shall provide trees at intervals not to exceed 30 feet.
- e) Rear yard landscaping shall be provided by individual homeowners. Rear yard landscape improvements shall be reviewed and approved by the DRC and installed within 90-days of the escrow closing date. If rear yard landscaping is not completed within 90-days financial penalties may be applied by the HOA based on CC&R requirements/policies. The HOA and/or DRC may extend this timeline based on seasonal delays, inclement weather, etc. at their discretion.
- f) Landscape character may vary from neighborhood to neighborhood while reinforcing the overall project theme. Each neighborhood may use a unique plant palette with the approval of the Design Review Committee. Project entries shall retain a common theme, as previously described in Chapter 2.
- g) As an alternative to turf, natural xeriscaping and low-water plant materials are encouraged for front yards and common yards with the approval of the DRC. Refer to examples on following page.

THE CANYONS



THE CANYONS

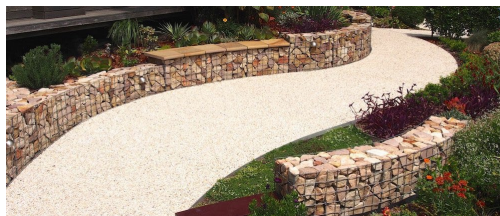
- j) Common area landscaping shall incorporate the use of natural onsite features. This may include boulders or the relocation native plant materials. An example is the use of stumps and previously burned trees relocated and used as landscape features that appear to native to the landscape. See example to right.



- k) Common area landscape features should draw from the natural materials found onsite such as native stone and rock. These materials can be used to create benches, stairs, etc. that fully blend with the natural landscape.



- l) The use of rock “cages” is encouraged in the use of landscape accents and features and shall incorporate the use of native stone found onsite.



THE CANYONS



- m) Outside of formal entries and gateways, the use of native plant materials such as pinion pines and desert shrubs shall become the predominant landscape material. Refer to approved plant palette included in the appendices of this handbook.



3.5 Project Entry

A grand entry will greet residents and guests as they enter The Canyons. The entry will provide a clear community distinction and reinforces the Desert Modernism theme with the use of natural onsite materials and modern design. Pedestrian access gates will be provided for public use.



THE CANYONS

3.6 Lighting

The primary purpose of lighting within The Canyons is to provide for the safety and security of residents and guests. Additionally, lighting can be used to accent community features such as the stone cabin, project entry, and formal landscape treatments.

Standards:

- a) Single family residences shall incorporate exterior lighting that is compatible with the architectural design of the home and includes fixtures that eliminate spill-over of light to adjoining parcels.



- b) Exterior landscape lighting may be used to accentuate architectural features, landscape elements, etc. and shall be subject to review and approval of the Design Review Committee.



- c) Projects with community greens or common yards may choose to include bollard lighting. Bollards may also be used to define trailheads and light pathways leading to and from the stone cabin. Bollard lighting shall not exceed 4-feet in height.
- d) As detailed in Chapter 2, streetlights may include fixtures that vary from NV Energy standards. Should fixtures be incorporated that are not acceptable by NV Energy, the HOA or designated sub-association shall be responsible for all streetlight maintenance, including poles and fixtures.
- e) All street lighting within The Canyons shall be compliant with the standards included in Chapter 2.

THE CANYONS

3.7 Walls and Fencing

The use of solid fencing within The Canyons is highly discouraged. Rather than having walled-off yards that obstruct views, openness, and the natural site beauty, the use of landscaping and open fencing will be incorporated.

Standards:

- a) Fencing of individual lots within The Canyons is not required and shall be at the individual builder's discretion, with approval by the Design Review Committee.
- b) The use of landscape features, landscape walls, shrubs, and trees are an acceptable method of delineating property boundaries and yards. All landscape improvements shall be reviewed and approved by the DRC.



- c) Side yard fencing shall be limited to the use of rock, rock cages, or native material (to the approval of the DRC) and shall not exceed 30-inches in height.



- d) Rear and side yards abutting open space shall utilize open fencing. Open fencing may include iron mesh, clear plexiglass, or similar. A solid 30-inch base with open fencing above may be permitted with DRC approval. Base material may include rock cage or Gabion fencing or masonry (stucco or decorative CMU).



THE CANYONS



- e) Decorative fencing that serves an architectural element of the primary residence or carries forth an architectural theme may be permitted with approval of the DRC. Refer to example at left.

- f) Solid fencing and that which obscures or obstructs views within the community shall be prohibited.
- g) No fencing shall occur within front yard setbacks.
- h) Single family lots and projects with common yards or community greens may include privacy walls, such as courtyard or patio walls, and shall not exceed 4 feet in height. These walls shall incorporate materials and colors consistent with the architecture of the homes.
- i) A 6-foot solid screen wall or fence may be used adjacent to public utility structures, subject to DRC approval and shall be screened with landscaping to soften their appearance.
- j) All walls and fences associated with a project shall be installed concurrently with the project. Fences within residential lots shall be maintained by the lot owner.
- k) Chain link fencing shall only be permitted with temporary construction yards and is prohibited within individual lot and common areas.
- l) Fencing for non-residential uses including amphitheaters, stone cabin, and/or community gathering spaces shall conform to the standards contained within the Reno Municipal Code.
- m) Wildlife fencing may occur along the eastern and northern property boundaries in order to discourage wild horses from migrating into The Canyons and adjoining neighborhoods. Fencing shall be located to direct horses towards established migration routes and shall include the use of open wire (or comparable fencing). All wildlife fencing shall be reviewed and approved by the DRC, City of Reno, and Nevada Department of Wildlife.
- n) Courtyard walls, open view glass fencing, and decorative open metal fencing screened with landscaping may be used up to 4-feet in height around swimming pools in order to meet City of Reno Municipal Code safety standards.
- o) All fencing shall be approved by the DRC and consistent throughout the village in which it is located.

3.8 Architectural Standards and Guidelines

The Canyons architectural standards are to be used as a general guideline and framework that reinforces the Desert Modernism/Desert Contemporary theme. Variations to these guidelines shall be permitted when the proposed deviation expands upon the project theme or is needed to address unique architectural elements, site conditions, etc. The guidelines are not intended to be restrictive, but rather promote both visual compatibility and variety within the PUD area by utilizing complementary Desert Contemporary styles. The intended result is a high level of design direction and quality. Any variation to the standards is subject to review and approval by the DRC.

3.8.1 Architectural Theme

As discussed in Chapter 1 and this chapter, The Canyons draws from the natural and indigenous materials found onsite. Rather than developing a community that contrasts with the dramatic backdrop of the property, the intent of The Canyons architectural standards is to provide for architecture that blends into the natural landscape.

The Desert Modernism theme incorporated contemporary architecture and encourages the use of natural materials such as rock and stone, heavy timbers, etc. as architectural design elements reminiscent of the project vision. Additionally, contemporary home designs that include non-traditional roof lines, large neutral wall planes, etc. will allow homes to blend with the natural features of the site. Steeper homesites will include the use of stepped foundations that are hillside adaptive in order to greatly reduce grading and visual scarring.

Modern and contemporary architecture will clearly help define neighborhoods within The Canyons from those to the west and serves to reinforce the project theme. In order to allow for variety, deviations to the architectural theme, including more eclectic designs, shall be permitted and can complement differing styles through the inclusion of common design elements. The ultimate goal of these standards is to create a high quality, attractive community that provides diverse housing choices to suit the variable tastes and needs of future residents.

The application of these architectural guidelines and standards to individual development projects will be reviewed and approved by the DRC and the City of Reno Community Development Department. New interpretations of these standards including combinations of materials are encouraged as they relate to a general feeling of neighborhood unity. The following sections provide guidelines and standards that will aid in the creation of a community which residents can be proud to call home.

3.8.2 Single Family Architectural Standards

A key element of The Canyons architectural guidelines is to create a streetscape possessing both function and visual variety. The guidelines are intended to provide variety in appearance as well as a sense of individuality for each structure. Projects where identical buildings line the streets without variation in form and mass are prohibited.

It is recognized that all architectural styles are open to interpretation in design. Therefore, these standards are not intended to limit creativity or prevent certain types of design. Instead, they should be viewed as a baseline for review in terms of quality, general theme, etc. Deviations may be permitted with the review and approval of The Canyons DRC and the Administrator.

3.8.3 Design Characteristics

The architectural styles of The Canyons are rooted in the Desert Modernism style reflective of contemporary designs. This style will set The Canyons apart from surrounding communities and create a strong sense of community for residents. The styles are reflective of building forma and details reminiscent of traditional post-modern design made famous in areas such as Palm Springs. The use of natural materials reflects the history of the West and site area while expressing the overall vision of the community.

Standards:

- a) A minimum of 3 of the following design elements shall be incorporated into all residential elevations included within The Canyons:

- Flat roofs
- Cantilevered Flat roofs
- Simple rooflines
- Deeply recessed window and door openings
- Deep canopies
- Varied plate heights and/or parapet walls
- Stucco walls
- Post and beam construction at primary living spaces
- Simple, uncluttered, uncomplicated exterior design
- Design that maximizes light exposure
- Long, low horizontal proportion
- Use of sliding glass doors
- Minimal decorative detailing
- Accent walls that incorporate native rock or similar material



THE CANYONS

3.8.4 Elevation Variations

Residential elevations shall provide visual interest, reinforce the community theme, and avoid a monotonous appearance.

Standards:

a) Facades of buildings styles shall make use of expressive structural elements such as brackets and columns, variable window types, a mixture of natural materials such as rock.

b) A minimum of two (2) distinctive floor plans shall be used within each individual non-custom village within The Canyons. Non-custom villages shall be those that contain 15 or more units.

c) The architectural detailing similar to that of the front elevations shall be utilized on all sides of the home.

d) Any building addition or additional building(s) (over 200 square feet) on a property shall match the main structure in building design, materials, roof pitch and architectural character.

e) The exterior mass and form of residential architecture should be varied within neighborhoods to improve the streetscape. This can be accomplished through (but is not limited to) varied setbacks, floorplans, facade detailing, massing and rooflines.



THE CANYONS

3.8.5 Windows

The style, placement, orientation, and design of windows plays a significant role in the overall architectural theme and can greatly enhance home values based on viewscapes they create. The following standards shall apply within The Canyons.

Standards:

- a) Window placement shall take advantage of mountain, valley, and/or open space/common area views.
- b) Windows shall be placed as to not be overly obtrusive to the privacy of adjoining residences. The DRC shall be responsible for determining compatibility with this standard.
- c) All windows shall be double-glazed to maximize energy conservation. Glass may be tinted but shall not be reflective or mirrored.
- d) As a method of reinforcing a connection with the outdoors, large windows and sliding glass doors opening from the primary living areas are encouraged.
- e) Windows shall incorporate aluminum or vinyl frames.
- f) Window trim shall be minimal and reflective the Desert Modernism/Contemporary design theme.
- g) Round windows and frames are prohibited.



THE CANYONS

3.8.6 Doors and Entries

The front door of homes within The Canyons shall create a sense of grandeur while complementing the overall architecture of the home.

Standards:



- a) Primary entry doors shall be a minimum of 8-feet in height.
- b) Entry doors shall be constructed of either solid wood, fiberglass, aluminum, or composite material with a stained or painted finish.
- c) The use of double entry doors shall be subject to the review and approval of the DRC and shall demonstrate compliance with the Desert Modernism/Contemporary theme.
- d) Dutch or cottage style doors are prohibited.
- e) The incorporation of windows and side lights is highly encouraged within front entries.
- f) The use of vivid colors that provide contrast as an architectural element are encouraged. The use of bland colors such as white and beige is highly discouraged unless it can be demonstrated that it is a key element of the overall architectural design of the residence, subject to DRC approval.

THE CANYONS

3.8.7 Garages

Garages shall be architecturally integrated into new homes within The Canyons and shall not be the predominant feature of front elevations.

Standards:

- a) Variety in garage placement is encouraged to avoid monotonous streetscapes. A garage should not be the dominant feature in the architecture of the home.
- b) The impact of repetitive street front garages can be reduced by:
 - Varying garage door appearance and placement from plan to plan.
 - Varying garage front yard setbacks from the garage and/or living space.
- c) A minimum 8-inch recess shall be provided at all garage doors.
- d) Garage trim shall be simple and not include windows, decorative hardware, etc.
- e) The use of dark colors is encouraged for garage doors. White garage doors shall be prohibited.



3.8.8 Outdoor Living Spaces

The incorporation of outdoor living spaces provides a sense of openness within the home, enhances resident quality of life, and expands overall useable living area of the home. Integration of indoor and outdoor living spaces for leisurely enjoyment is highly encouraged within The Canyons.

Standards:

- a) The use of multiple outdoor living spaces such as courtyards, covered patios, etc. is highly encouraged for all homes.
- b) For homes located with Canyon Creek and Canyon Meadow, individual builders may choose to include side yard reciprocal use easements. This shall allow for consolation of the two side yards into a larger space that extends to the adjoining home. This enlarged use area shall be for the purpose of encouraging and extending outdoor living elements, subject to DRC approval.
- c) The placement of second floor decks shall be reviewed and approved by the DRC prior to construction in order to evaluate privacy impacts upon adjoining homes.
- d) Covered patios shall be subject to the setback regulations outlined in Chapter 2. This standard shall not apply to side yards that include a reciprocal use easement.
- e) Rear yard covered patios shall include a 2-foot minimum offset from the primary structure.



3.8.9 Exterior Paint and Materials

Allowed materials and paint colors are indicative of the Desert Modernism/Contemporary theme and serve to reinforce the overall project theme.

Standards:

- a) Low, pony, and courtyard walls attached to the primary structure shall match or enhance colors on the elevations.
- b) Fascia and eaves may include contrasting accent colors and shall be reviewed and approved by the DRC.
- c) Undersides of eaves and overhangs shall incorporate the same color as the primary residence.
- d) Approved exterior materials include stucco, cement fiber siding, and exposed concrete. Variation in materials that complement the Desert Modernism may be permitted with DRC approval and must consistent with standards contained herein.
- e) Natural stone may be used as an accent material with the approval of the DRCZ.
- f) Home colors shall comply with The Canyons approved color palette, as included below.

STUCCO



ENTRY DOORS



FASCIA



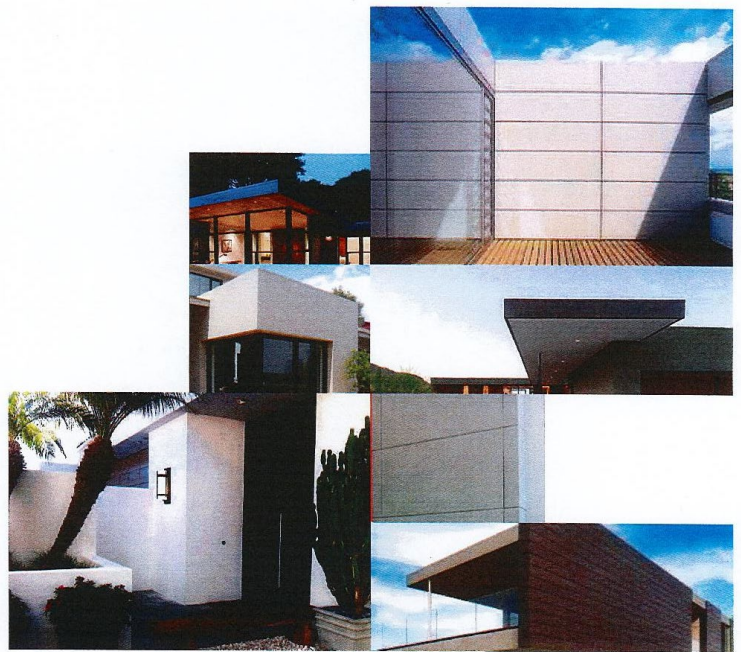
THE CANYONS

3.8.10 Finish Materials

Finish materials shall complement the primary architectural character of the home and add a sense of uniqueness to residences within The Canyons.

Standards:

- a) The use of steel posts at covered patios is highly encouraged.
- b) Low walls that are attached to the primary structure (i.e. courtyard walls, garden walls, etc.) shall match the finish of the primary dwelling.
- c) Flagstone, lava rock, cobble stone, and glass tiles are not permitted on exterior walls.
- d) Exterior lighting is encouraged to be located under eaves and adjacent to points of entry. Refer to Lighting section for additional standards.
- e) Accent walls may include precision cut stones, fiber cement paneling, or exposed concrete/aggregate.



3.8.11 Roofs and Mechanical Equipment

The incorporation of flat roofs is encouraged given the architectural theme of the project. Therefore, the following standards ensure that rooftop equipment, as applicable, is properly screened,

Standards:

- a) Roofs shall be constructed to weather the harsh desert environment including sun and applicable snow loads. The roof must be non-flammable and non-reflective.
- b) Roof overhangs shall be permitted to encroach 1-foot into the required setback around the envelope of the primary structure.
- c) All mechanical equipment, including any rooftop air conditioning units, satellite dishes, solar panels, etc. shall be screened from view by architectural elements to the satisfaction of the DRC.
- d) Rooftop screening shall occur from all vantage points, not solely the front elevation. Parapets shall extend a minimum of 6-inches above any rooftop equipment.
- e) Ground-mounted air conditioning units should provide a minimum of 3-feet of clearance to allow for access and heat dispersion.
- f) To the extent possible, ground mounted air conditioning units and utility meters shall be located as to not be visually obtrusive.
- g) Utility meters shall be located adjacent to garages, to the extent possible.

3.8.12 Sustainability

As noted in Chapter 1, The Canyons is a community that embraces the natural elegance of the site, encouraging minimal disturbance and preservation of significant landforms and features. For this same reason, sustainability will be a key consideration of project architecture.

- a) The use of energy efficient building materials is required for all new homes.
- b) The inclusion of solar energy opportunities within new homes is highly encouraged, including provisions for panels to be located in a visually unobtrusive manner.
- c) At a minimum, roof shall include a high solar reflection index to reduce the need for heating and cooling.
- d) Water conserving plumbing fixtures are required for all new construction.

3.8.13 Accessory Structures and Uses

Detached accessory dwelling units (ADU) and structures such as garden sheds may be permitted, subject to the standards outlined in Chapter 2. Where ADU's are provided, the following standards shall apply.

Standards:

- a) Detached ADU's and casitas shall incorporate the same materials and architectural design as the primary residence that they serve.
- b) Detached structures, including garden sheds shall be painted to match the primary structure and are subject to the setback standards for that village.
- c) Play equipment such as jungle-gyms, swing sets, and climbing structures shall be prohibited.
- d) Sheds that are visible from the street shall be prohibited. Sheds shall be screened from view of adjoining residences and approved by the DRC.
- e) Multi-generational single-family housing that includes an ADU shall be permitted per the standards included in Chapter 2.

3.8.14 Non-Residential Standards

Non-residential uses within The Canyons are limited and intended to promote a walkable neighborhood with community amenities, including limited support commercial and personal service use, as set forth in Chapter 2, Table 2-6.

In general, the site planning and architectural standards provided in the Reno Municipal Code shall pertain to all non-residential uses within the PUD boundary. However, the following supplemental standards shall also apply.

Standards:

- a) A stone cabin structure and adjoining amphitheater shall be permitted within the common area and shall not be subject to the architectural standards contained herein or within Reno Municipal Code. Instead, the cabin may take on a rustic or aged appearance and incorporate natural stone and/or timbers. Final cabin design shall be subject to DRC approval.
- b) All non-residential building elevations must be reviewed and approved by The Canyons DRC.
- c) Art and/or structures (i.e. sculptures, etc.) may be located in the open space and not subject to design guidelines, but subject to the approval of the DRC.

4 CONSTRUCTION, OPERATION, AND MAINTENANCE

4.1 Clean Job Site

As construction occurs within The Canyons, individual developers/builders shall ensure that construction sites, including standing and storage areas, are maintained in a clean and orderly fashion. Any hazardous materials (i.e. gasoline, paints, etc.) shall be stored in proper OSHA approved containers and in accordance with all applicable local, State, and Federal standards/permits.

4.2 Protection of Vegetation During Construction

Natural vegetation outside of the limits of grading for any given project within The Canyons PUD area shall be protected from damage during construction. Any common or open space areas that are disturbed during construction (i.e. extension of utilities, construction access, etc.) shall be fully restored. Disturbed open space areas shall be revegetated with native vegetation. All developed/improved common areas shall be returned to their natural state, although additional landscaping, irrigation, and other refinements may be provided.

4.3 Temporary Protective Fencing

Construction that is adjacent to any open space areas, areas of public activity (i.e. trails) or significant natural features shall be required to erect temporary protective fencing to ensure that these areas are not disturbed, and that public safety is preserved.

4.4 Erosion Control Plan and Storm Water Pollution Prevention Plan (SWPPP)

Per Reno Municipal Code and Nevada Division of Environmental Protection (NDEP) policies and regulations, all construction projects are required to have an Erosion Control Plan and Storm Water Pollution Prevention Plan (SWPPP) in place prior to commencement of any grading activities. Erosion Control Plans shall be reviewed and approved by the Administrator and the Washoe County District Health Department. The SWPPP shall be approved by the NDEP. This standard applies for any and all land-disturbing activities that occur within the PUD area.

4.5 Temporary Structures and Signs

Temporary structures such as construction trailers, portable offices, temporary sales offices, etc. shall be reviewed by the Master Developer and/or the DRC as to their location, hours of operation, etc. To the extent possible, construction trailers shall be located away from public rights-of-way, trails, and active common areas. All temporary structures shall be removed within 30 days of the completion of work or issuance of final certificate of occupancy (as applicable).

Individual projects within The Canyons shall be permitted two 32 square foot temporary project identification signs. The purpose of these signs is to identify the project and may include builder name, selling price, contact information, phasing announcements, financing source, etc. This sign may not replace the required project entry monument (refer to Chapter 2) and shall be removed concurrently with the sale of the final home within that particular neighborhood. All temporary signs shall be reviewed and approved by the Master Developer or The Canyons DRC.

Security fencing associated with temporary structures and construction is permitted. This includes the use of chain link and barbed wire fencing on a temporary basis. Fencing shall be limited to no more than 6 feet in height and shall be removed concurrently with the temporary structure or completion of construction.

4.6 Model Home Complexes

Model Home Complexes shall comply with the following standards:

- a) The location of model home complexes and details regarding parking, lighting, landscaping, fencing, signing and hours of operation shall be reviewed and approved by Master Developer and the Administrator.
- b) Model home complexes/sales offices shall be limited to operations between the hours of 8:00 am to 6:00 pm, 7 days per week.
- c) Any temporary sales office and/or model home complex shall cease operation with the sale of the final home in the subdivision. All temporary signs and other temporary fixtures shall be removed concurrently.
- d) Accessible parking shall be provided per Reno Municipal Code standards for all model home complexes.
- e) Temporary parking lots, subject to ADA standards shall be permitted with new model home complexes and shall be removed concurrently with the sale of the final unit within the subdivision.

- f) Temporary open view fencing is permitted within the front yard setbacks of model home complexes and shall be removed with the sale of the final unit within the subdivision. Acceptable fencing includes wrought iron or split rail and shall not exceed 4 feet in height.
- g) Lighting for model home complexes may be provided for safety and security purposes and shall be approved by the Master Developer and/or the DRC. Temporary security lighting shall be removed with the sale of the final unit within the subdivision.
- h) Lighting of temporary parking lots, other than bollard lighting limited to 4 feet in height, shall be prohibited.
- i) Temporary flags and flag poles shall be permitted within model home complexes subject to review and approval of the Master Developer and/or DRC. All flags and flag poles shall be removed with the sale of the final unit within the subdivision.

4.7 Construction Yards and Hours

As construction commences within The Canyons, construction yards will be necessary. A construction yard is a temporary area used for the storage of materials, supplies, tools, equipment, etc. The following requirements will apply to all projects within The Canyons PUD area:

- a) Construction hours, including activity within construction yards, shall be limited to 7:00 am to 8:00 pm weekdays and 9:00 am to 6:00 pm on weekends.
- b) To the greatest extent practical, new construction yards shall be located away from existing residences.
- c) Construction yard location shall be reviewed and approved by the Master Developer and/or the DRC.
- d) Construction yards shall be subject to any applicable City of Reno permits . If applicable, a Washoe County District Health Department dust control permit shall be required.
- e) Construction yards shall be removed, and sites returned to a natural or developed state with issuance of the final certificate of occupancy within the subdivision(s) they serve.
- f) All construction yards shall be kept in a neat and orderly fashion. All materials, equipment, etc. shall be kept behind a 6-foot minimum fence. Acceptable fencing includes wood or chain link and may include barbed wire.
- g) Temporary pole lighting is permitted within construction yards for security purposes. All fixtures shall be shielded to ensure spill-over and glare does not occur on adjoining properties.

- h) An onsite resident may be permitted within temporary living quarters (modular unit or recreational vehicle) within active construction yards for security purposes.
- i) The project contractor shall be responsible for obtaining applicable permits and enforcement of these standards.

4.8 General Construction Standards

- a) Construction hours shall be limited to 7:00 am to 8:00 pm weekdays and 9:00 am to 6:00 pm on weekends.
- b) Individual builders shall be responsible for obtaining all required permits such as dust control, SWPPP, etc.
- c) Roadways within construction areas shall be kept free of debris such as scrap materials, nails, etc. and shall be swept on a regular basis.
- d) Adequate dumpsters shall be provided within construction areas to ensure debris does not spill over into streets or blow off-site.
- e) Builders shall designate to the Master Developer and City of Reno a project contact person responsible/authorized to correct problems regarding the project on a 24-hour/7 days a week basis.
- f) Fencing may be erected around construction sites on a temporary basis. This may include chain link at a maximum of 6-feet.
- g) The Master Developer, HOA, or any designated sub-association, shall ensure the implementation of Best Management Practices to prevent the spread of noxious weeds during construction activities.

4.9 Common Area Maintenance

The Canyons will include a significant amount of common area and open space. This includes both private and public common areas. In general, private common areas will be located within individual subdivisions and may include neighborhood greens, private recreational amenities, private streets, etc. Public common areas include dedicated open space, trails, drainageways, utility corridors, etc.

4.9.1 General Maintenance Standards

- a) Concurrent with the approval of the first tentative map or development permit (i.e. road construction), the Master Developer shall submit a final Three-Year Maintenance Plan to the Administrator for review and approval. The maintenance plans shall be reviewed and updated, as necessary, by the Administrator every 3 years.
- b) Prior to or concurrent with the issuance of the first building permit, the Master Developer shall demonstrate that the master homeowner's association, The Canyons HOA, has been formed and articles of incorporation are filed with the Nevada Secretary of State.
- c) The Canyons HOA shall be responsible for the ongoing maintenance of all public common areas within the PUD Area. This includes vegetation, preservation of watersheds, debris and litter removal, trail maintenance, maintenance of community signs and amenities, landscape maintenance, maintaining public access where applicable, noxious weed abatement, etc.
- d) The Canyons HOA shall be responsible for the permanent maintenance of public common/open spaces.
- e) As an alternative to a Homeowner's Association, an alternative legal instrument may be formed to provide for the ongoing permanent maintenance of common/open space areas and community amenities. Acceptable instruments include a Landscape Maintenance Association (LMA) or Landscape Maintenance District (LMD) subject to the approval of the Master Developer and City of Reno.
- f) The Canyons HOA or any subsequent entity charged with the task of maintenance shall comply with the regulations set forth in NRS 278A.120 through 278A.190.
- g) The City of Reno shall not be responsible for common or open space areas within The Canyons.
- h) The Master Developer, HOA, or any designated sub-association shall include the implementation of Best Management Practices to prevent the spread of noxious weeds during construction activities.

4.9.2 Private Open Space and Common Areas

- a) Private Open Space and common areas such as neighborhood greens, private streets, etc. shall be maintained by the HOA or a designated sub-homeowner's association specific to an individual neighborhood.
- b) Sub-homeowner's associations must comply with all applicable rules and regulations, including any adopted covenants, conditions, and restrictions (CC&R's), included within the PUD and shall require approval to be formed by the Master Developer and Administrator.

- c) The Canyons HOA may choose to maintain private common areas through an agreement with a sub-HOA or individual builder. This shall be subject to approval of the Master Developer and/or The Canyons Homeowners Association Board of Directors.
- d) The Master Developer and subsequent Homeowners Association(s) shall include the implementation of Best Management Practices to prevent the spread of noxious weeds during construction activities.

INITIAL REVIEW MEMORANDUM

TO: Brook Oswald, City of Reno

FROM: Chris Tolley, TMRPA

DATE: April 15, 2022

SUBJECT: **REVISED – TMRPA initial review of the City of Reno case LDC21-00034
(Canyon's Edge)**

This memorandum provides the Truckee Meadows Regional Planning Agency's (TMRPA) initial review comments regarding the subject case (LDC21-00034), as stated in the 2019 Truckee Meadows Regional Plan (Policy RC 5).

The following constitutes an initial review based on the limited information available at the time of this memorandum. TMRPA recognizes that the proposal may change through the jurisdictional review of the case. Should the case be approved through the City of Reno, the proposal will need to be formally submitted to TMRPA for a review of conformance with the 2019 Truckee Meadows Regional Plan in its entirety.

This **revised** Initial Review Memo addresses the modified proposal, which was circulated for comment by the City of Reno on April 1, 2022. The original proposal was for an amendment to the Master Plan land use designation from Unincorporated Transition (UT) to Large-Lot Neighborhood (LL), and did not include a zoning component. The request, as modified, is presented below.

The request, as identified by the City of Reno, is the following:

A request has been made for: 1) **an amendment to the Master Plan land use designation from ±80.22 Unincorporated Transition (UT) to ±14 acres of Single Family (SF) and ±66.22 acres of Parks, Greenways, and Open Space (PGOS)** and; 2) a zoning map amendment from Unincorporated Transition one dwelling unit per 40 acres (UT-40) to the Canyons Planned Unit Development (PUD-Canyons). The ±80.22 acres site is located approximately 1,400 feet east of the eastern terminus of Mine Shaft Drive

[TMRPA notes: **bolded text** identifies the portion of the request that is subject to review under the Regional Plan]

Potential conformance issues

The subject site lies within the Tier 3 Regional Land Designation, and per Policy *RF 3 – Density Requirements and Nonresidential Standards*, the maximum density for lands within this tier is the

currently existing maximum. For the subject site, the maximum density is established by Unincorporated Transition (UT) land use.

In order to intensify to Single Family (SF), covering approximately 14-acres on the western side of the subject site, a Regional Plan Amendment will be required to change the Regional Land Designation from Tier 3 to Tier 2 (See Regional Plan Policy RF 5). The Tier 2 Regional Land Designation begins immediately west of the subject site.

Related Regional Plan policies

Please review the list of policies provided in this section, as the requirements of each should be addressed (or connected to the implementing policy in the City of Reno Master Plan) in the analysis presented for the subject case:

RF 3 – Density Requirements and Nonresidential Standards

RF 5 – Regional Land Designation Amendments

RF 11 – Compatibility Factors

PF 1 – List of Facilities and Service Standards

NR 3 – Development Constraints Area

NR 4 – Open Space

NR 5 – Natural Slopes greater than 15% and less than or equal to 30%

NR 8 – Wildland/Urban Interface

Data and information related to Regional Plan implementation

Regional Land Designation: Tier 3

Development Constraint Areas (DCA): Site contains significant DCA, slopes 30% & up

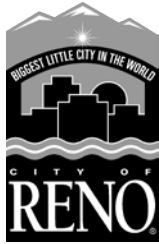
Request for comment from other local government and/or affected entities

None at this time

Other information for review

TMRPA suggests that the deed restricted open space area (identified in the application materials) be documented in multiple ways to ensure that property is developed in accordance with the possible approval granted through this process. For example, the approved subdivision map should contain a visual delineation and written notes to document the areas to be deed restricted as open space.

Please do not hesitate to contact TMRPA staff at 775-321-8385 if you have any questions or comments on this initial review memorandum. For more information, you can access the [2019 Truckee Meadows Regional Plan](#) and the [Regional Data Viewer](#) at www.tmrpa.org.



Environmental Control

MEMORANDUM

Date: April 4th, 2022
To: Chris Pingree – Director of Development Services
From: Michael Ufford, Environmental Control Officer
Subject: **Application Review/Comments**

The Environmental Control Section (EC) under the Utility Services Department has reviewed the Development Projects memorandum dated April 1st, 2022. We offer the following comments or conditions:

Holcomb Flex Building

SPR22-00009

EC has no comment on the Holcomb Flex Building site plan review.

Tempo Fulfillment

SPR22-00010

EC has no comment on the Tempo Fulfillment Center site plan review.

Mayberry Gardens Signage*

COA22-00002

EC has no comment on this request for a certificate of appropriateness regarding signage.

Gateway at Galena - Annexation

ANX22-00002

EC has no comment on the proposed annexation of this parcel.

Maverik 2nd & Kietzke

LDC22-00063

EC has no comment on the proposed area or placement relative to the off-ramp of this gas station project.

Canyon's Edge
LDC21-00034

EC has no comment on the proposed zoning map and master plan amendments.

Ridge Park
LDC22-00066

EC has no comment on the tentative map, conditional use permits, or proposed grading and landscaping changes associated with this townhome project.

**WASHOE COUNTY
HEALTH DISTRICT**
ENHANCING QUALITY OF LIFE

January 27, 2021

City of Reno
Planning and Development Division
PO Box 11130
Reno, NV 89520-0027

RE: Canyon's Edge; APN 016-720-01
Master Plan Amendment; LDC21-00034

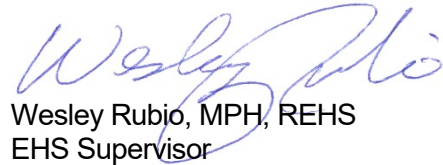
Dear City of Reno Staff:

The Washoe County Health District, Environmental Health Services Division (WCHD) has reviewed the above referenced project.

1. WCHD has reviewed the above referenced project and has no objections to the approval of this project as proposed.
2. All building permits and plans must be reviewed by WCHD for compliance with permitting.

If you have any questions or would like clarification regarding the foregoing, please contact Wes Rubio, EHS Supervisor at wrubio@washoecounty.us regarding all Health District comments.

Sincerely,



Wesley Rubio, MPH, REHS
EHS Supervisor
Environmental Health
Washoe County Health District



Which Category Describes You NAB Member

Case Number LDC21-00034

Do you wish to opt-in to receive Reno Connect Development Project email newsletters? No

NAB Member Comment Form

Ward Number Ward Two (Naomi Duerr)

Full Name Steven Schwarzer

Contact Email steven.schwarzer@gmail.com

Compatibility of proposal with surrounding area. Compatible with the adjacent development and seems to add little/no additional impact to the overall development.

Traffic impacts & pedestrian safety. N/A

Does the proposed design contribute to and enhance the character of the area. Neutral as the approved adjacent development will be the predominant impact to the character.

Environmental impacts. N/A

This PDF is generated with the [Google Forms Notification](#) add-on.

To generate customized PDFs from Google Forms, download [Document Studio](#) ([video demo](#)).

These messages are not added in the [premium version](#).

Which Category Describes You NAB Member

Case Number LDC21-00034

Do you wish to opt-in to receive Reno Connect Development Project email newsletters? No

NAB Member Comment Form

Ward Number Ward Two (Naomi Duerr)

Full Name PATRICK FISHER

Contact Email pvfisher@hotmail.com

Contact Phone Number 7757729338

Compatibility of proposal with surrounding area. Bringing Canyons Edge into the Canyons PUD works for increased compatibility.

Traffic impacts & pedestrian safety. NA

Does the proposed design contribute to and enhance the character of the area. The properties proposed are only possible with major infrastructure investment, and some significant earth moving. Development in this area has major impacts on wildlife in the area. I'm not sure that this intensive development contributes or enhances the character of the area. The expense of changing the topography and impact on the environment calls into question the value of developing up slope North or South or East of this project.

Environmental impacts. See above

Leave other comments on this case here. I'm impressed by the property owners effort to bring this development to fruition, reaching out to the various stakeholders to obtain buy-in for the challenges inherent.