

- 4.4 Staff Report (For Possible Action - Recommendation to City Council):
Case No. **LDC22-00050 (Sierra Senior Care PUD Amendment)** - A request has been made for an amendment to the Sierra Senior Care Planned Unit Development (PUD) zoning district design standards handbook to allow for 96 multi-family dwelling units on the vacant northern ±3.26 acre portion of the PUD. Also, in order to accommodate the proposed use, various additions to design standards are proposed including: building architecture, setbacks, lighting, landscaping, parking, etc. The ±5.09 acre PUD is generally located north of the terminus of Beck Street and south of Mountain View Drive. The site has a Master Plan land use designation of Multi-Family Neighborhood (MF). **[Ward]**

**PLANNING COMMISSION
STAFF REPORT**

Date: November 17, 2022

To: Reno City Planning Commission

Subject: Staff Report (For Possible Action - Recommendation to City Council): Case No. LDC22-00050 (Sierra Senior Care PUD Amendment) - A request has been made for an amendment to the Sierra Senior Care Planned Unit Development (PUD) zoning district design standards handbook to allow for 96 multi-family dwelling units on the vacant northern ±3.26 acre portion of the PUD. Also, in order to accommodate the proposed use, various additions to design standards are proposed including: building architecture, setbacks, lighting, landscaping, parking, etc. The ±5.09 acre PUD is generally located north of the terminus of Beck Street and south of Mountain View Drive. The site has a Master Plan land use designation of Multi-Family Neighborhood (MF).

From: Grace Mackedon, Associate Planner

Ward #: 1

Case No.: LDC22-00050 (Sierra Senior Care PUD Amendment)

Applicant: Christy Corporation, LTD

APN: 019-232-61, and 019-232-67

Request: Amendments to the Sierra Senior Care Planned Unit Development (PUD) zoning district design standards handbook to:

- Allow for 96 multi-family dwelling units on the vacant northern ±3.26 acre portion of the PUD, and;
- Add specific design standards for the proposed use that includes: building architecture, setbacks, lighting, landscaping, parking, etc.

Location: See Case Maps (**Exhibit A**)

Proposed Motion: Based upon compliance with the applicable findings, I move to recommend that City Council approve the amendments to the Sierra Senior Care Planned Unit Development design standards handbook, subject to the conditions listed in the staff report.

Recommended Conditions of Approval:

- A. Approval of the amendment to the Sierra Senior Care Planned Unit Development (PUD) Design Standards is subject to the modifications to the Handbook as noted in **Exhibit B**, and any modifications made by the Planning Commission and City Council at their respective public hearings.

Summary: The ± 5.09 acre site is located directly south of Mountain View Drive as demonstrated in **Exhibit A**. This request would amend the PUD Handbook to allow for a 96-unit multi-family residential development at the northern portion of the site with associated design and development standards. Key issues associated with this request include: 1) compatibility with surrounding land uses; and 2) traffic. These issues are mitigated through the project design, code compliance, and the Conditions of Approval as further discussed in the analysis below. Staff recommends approval subject to all proposed conditions.

Background: In January of 2011, City Council approved the Sierra Senior Care PUD to allow for the development of a 48-bed memory care facility, 94-bed assisted living and/or skilled nursing facility, and 12 one- and two- bedroom independent living units. In February of 2015, the first amendment to the Handbook was approved allowing for a 44-unit affordable multi-family development as an alternative to developing the 94-bed assisted living/skilled nursing facility on the south ± 1.91 acres of the site. The project was restricted to be affordable for a minimum of 50 years. The project was constructed and opened in June of 2017.

In August of 2016 the master developer proposed an amendment to the Handbook to allow for a 70-bed skilled nursing facility as an alternative to the 48-bed memory care and 12 independent living cottages. The City Council denied this request citing incompatibility, lack of transitions, and traffic issues.

In September of 2017, the developer proposed a Handbook amendment to allow for a 32-bed memory care and 82-bed assisted living facility as an alternative to the 48-bed memory care and 12 independent living cottages on the north ± 3.26 acres of the site. This amendment was approved but was never constructed.

Analysis:

Land Use Compatibility: The project site is well suited for multi-family residential development due to its proximity to transit and services. Multi-family residential development is encouraged in infill locations close to public transit. The subject site is within ± 0.12 miles from a transit stop and within walking distance of parks, recreation, and other commercial locations. Land uses surrounding the site consist of residential and public uses. Properties to the south and west include multi-family residential developments. The properties to the west include the Virginia Lake Dog

Park and residential properties. North of the site includes single-family residences and the Virginia Lake Park.

The only other land use within the PUD is the 44-unit multi-family residential development located on the southern portion of the site adjacent to Beck Street Cul-de-sac. This proposal would allow for a third development alternative to the northern portion of the PUD adjacent to Mountain View Drive. If this option were to be developed, it would replace the 48-bed Memory Care and independent living cottages, or the 32 bed Memory Care and 82 bed assisted living facility. The proposed 96-unit multi-family residential development is compatible with the neighborhood and consistent with the PUD standards.

Development Standards: The proposed amendment will allow for an additional development option of multi-family residential at the northern portion of the PUD (**Exhibit B**). The amendment will establish the base land use framework for the development of a 96-unit multi-family apartment project offering studio, one-, and two-bedroom units. The project will have two- and three-story buildings, with units varying from 500 square feet to 1,000 square feet. Amenities will include a gym, swimming pool, playground, outdoor fire pit, laundry in each unit, and landscape common areas. Parking will be provided at a rate of one space per bedroom which exceeds RMC standards of no more than two spaces per unit. The proposed buildings will be designed to blend in with the adjacent multi-family developments and be architecturally compatible with a contemporary interpretation of Craftsman and Rustic themes.

Landscape standards for the proposed development will be provided at a rate of 20% of the gross area of the site. A twelve foot wide landscape strip will be provided along Mountain View Drive, and a nine foot wide landscape strip will be provided along the eastern property line. These landscape strips will help screen the proposed residences from the existing residences. The minimum allowed setbacks for the proposed development are as follows: Fifty feet from the front property line; ten feet from the west property line; twenty feet from the east property line; and, twenty feet from the south property line.

Public and Private Improvements: This is an infill project with all the necessary utilities to serve the project in place or the utilities can be easily extended to the site. Sewer treatment for the project will be provided by the Truckee Meadows Water Reclamation Facility (TMWRF). The project proposes to tie to an existing private sewer main located onsite. No sewer capacity concerns were identified by the Utility Services Department. APNs 019-232-17 and 019-232-18 are also connected to the private sewer main and sewer service and connections will be maintained during and after the project is completed.

The project site is located within the Unshaded Zone “X” Flood Hazard designation (minimum flood hazard). This is an undeveloped site with natural scattered vegetation. The proposed

development will include new building footprints, a parking lot, and landscape areas. The addition of landscape areas will reduce the impervious area, increase on-site runoff infiltration, and reduce storm drainage flows from the site. The project will be required to detain the 5-year and 100-year storm water flows.

Traffic and Access: The applicant provided a Traffic Access and Entry Study with the application materials. Traffic for the proposed PUD amendment is anticipated to generate 647 ADT with 38 AM PH trips and 49 PM PH trips. The proposed addition of a multi-family option to the PUD handbook will have minimal impact on the adjacent street network or Level of Service (LOS). No traffic mitigating improvements will be necessary other than the improvements recommended by the traffic study. Any proposed improvements within the right of way must be approved through an encroachment and excavation permit from Public Works.

Access is provided primarily from Mountain View Drive with a gated secondary access from Beck Street. Pedestrian access will be provided throughout the site with a minimum five-foot wide sidewalk between buildings, right-of-way, and parking areas. Additionally, the developer is required to fund and construct a new crosswalk and push button activated flashing beacons at or near the intersection of Mountain View Drive and Lakeside Drive prior to the issuance of a Certificate of Occupancy for the multi-family alternative (**Exhibit B Page #29**). The specific location shall be approved by the City of Reno Public Works Department. This will ensure safe pedestrian access from the park to the proposed multi-family residential development.

Master Plan Conformance: The subject site has a Master Plan land use designation of Multi-Family Neighborhood (MF), and is within the Outer Neighborhood of the Structure Plan, which is intended for a mix of housing types and supporting non-residential uses and amenities. The proposed zone change is in conformance with the following applicable Master Plan guidance:

- City Wide Policy 4.1A: Housing Options
- City Wide Policy 4.1B; Geographic Diversity
- City Wide Policy 4.2C: Innovative Design
- City Wide Policy 4.3B: Infill & Redevelopment
- Area Specific Policy N-ON.1: Mix of Housing Types

Public and Stakeholder Engagement: This project was reviewed by various City divisions and partner agencies and comments were incorporated into the project analysis (**Exhibit C**). Staff received nine comments in opposition of the project with concerns regarding traffic, safety, and density (**Exhibit D**). The item was presented to the Ward 1 Neighborhood Advisory Board (NAB) meeting on March 14, 2022 where there were concerns regarding safety and traffic (**Exhibit E**). The applicant held an additional neighborhood meeting at Moana Nursery on March 29, 2022. The applicant returned to the Ward 1 NAB on June 13, 2022 to present changes that increased parking,

a new design, and an updated traffic study. Any future comments will be forwarded to the Planning Commission.

Findings:

General Review Criteria: The decision-making body shall review all development applications for compliance with the applicable general review criteria stated below.

- 1) Consistency with the Reno Master Plan. The proposed development shall be consistent with the Reno Master Plan. The decision-making authority:
 - a. Shall weigh competing plan goals, policies, and strategies; and
 - b. May approve an application that provides a public benefit even if the development is contrary to some of the goals, policies, or strategies in the Reno Master Plan.
- 2) Compliance with Title 18. The proposed development shall comply with all applicable standards in this Title, unless the standard is lawfully modified or varied. Compliance with these standards is applied at the level of detail required for the subject submittal.
- 3) Mitigates Traffic Impacts. The project mitigates traffic impacts based on applicable standards of the City of Reno and the Regional Transportation Commission.
- 4) Provides Safe Environment. The project provides a safe environment for pedestrians and people on bicycles.
- 5) Rational Phasing Plan. If the application involves phases, each phase of the proposed development contains all of the required streets, utilities, landscaping, open space, and other improvements that are required to serve or otherwise accompany the completed phases of the project, and shall not depend on subsequent phases for those improvements.

Zoning Map Amendment: All applications for zoning map amendments shall meet the approval criteria in Section 18.08.304(e), *Approved Criteria Applicable to all Applications*, and the following findings:

- (1) The amendment, together with changed components of the Title, promotes, or does not conflict with the provisions of NRS 278.250(2) (outlined below);

The zoning regulations must be adopted in accordance with the master plan for land use and be designed:

- a. To preserve the quality of air and water resources;
- b. To promote the conservation of open space and the protection of other natural and scenic resources from unreasonable impairment;
- c. To consider existing views and access to solar resources by studying the height of new buildings which will cast shadows on surrounding residential and commercial developments;

- d. To reduce the consumption of energy by encouraging the use of products and materials which maximize energy efficiency in the construction of buildings;
- e. To provide for recreational needs;
- f. To protect life and property in areas subject to floods, landslides and other natural disasters;
- g. To conform to the adopted population plan, if required by NRS 278.170;
- h. To develop a timely, orderly and efficient arrangement of transportation and public facilities and services, including public access and sidewalks for pedestrians, and facilities and services for bicycles;
- i. To ensure that the development on land is commensurate with the character of the physical limitations of the land;
- j. To take into account the immediate and long-range financial impact of the application of particular land to particular kinds of development, and the relative suitability of the land for development;
- k. To promote health and the general welfare;
- l. To ensure the development of an adequate supply of housing for the community, including the development of affordable housing;
- m. To ensure the protection of existing neighborhoods and communities, including the protection of rural preservation neighborhoods;
- n. To promote systems which use solar or wind energy;
- o. To foster the coordination and compatibility of land uses with any military installation in the city, county or region, taking into account the location, purpose and stated mission of the military installation.

(2) The amendment is in substantial conformance with the Master Plan.

Rezoning to Planned Unit Development (PUD): In addition to meeting the approval criteria in Section 18.08.304(e), *Approval Criteria Applicable to all Applications* and the findings for approval of zoning map amendments in Section 18.08.503(d), *Findings*, the Planning Commission and City Council shall find that the Tentative PUD Plan:

- (1) Is consistent with the statement of objectives of a PUD;
- (2) Ensures that any departures from standard zoning and subdivision regulations otherwise applicable to the property, including but not limited to density, bulk and use, are in the public interest;
- (3) Has a ratio of residential to nonresidential use that is appropriate for the area and compatible with nearby land uses;
- (4) Provides an appropriate location and amount of the common open space and provides for the maintenance and conservation of the common open space in relation to the proposed density and type of residential development;
- (5) Includes an adequate provision for public services, adequate control over vehicular traffic, and furthers the amenities of light and air, recreation, and visual enjoyment;
- (6) Is compatible with the neighborhood in which it is proposed to be established;

- (7) For PUD Plans that propose phased development over a period of years, sufficient terms and conditions are included to protect the interests of the public, residents, and owners of the PUD in the integrity of the plan. Addresses a unique situation, provides substantial benefit to the City, or incorporates innovative design, layout, or configuration resulting in quality over what would typically be accomplished through strict application of a base zoning district or other standards of this Title;
- (8) Is compatible with a Master Plan land use category or categories, including Master Plan guidance on the desired density, use, and characteristics of the land use category; and
- (9) Demonstrates that there is a public benefit gained from approval of the PUD, such as but not limited to the following:
 - a. Additional or better open spaces, or a design or development of open spaces that creates a desirable and useful environment;
 - b. Additional public use facilities, such as but not limited to pedestrian and bicycle trails, parks, open spaces, streets improving local circulation, or public access to a lake or stream;
 - c. Preservation or enhancement of natural and cultural assets, such as historic landmarks, migration routes, wetlands, fish or animal habitats, geographical features, specimen trees, or views;
 - d. Other general public benefit features that contribute to improving the environment and ecology of the vicinity, such as incorporating green infrastructure improvements to enhance stormwater infiltration and/or provision of additional flood protection facilities; and/or
 - e. A significantly higher quality development than following traditional development practices would allow, including more efficient use of land, energy, and resources, a more unified design concept, and a more carefully planned, considered, and livable community.

Attachments:

Exhibit A – Case Maps

Exhibit B – Redlined PUD

Exhibit C – Site Plan

Exhibit D – Agency Comments

Exhibit E – Public Comment


Exhibit F – NAB Comments

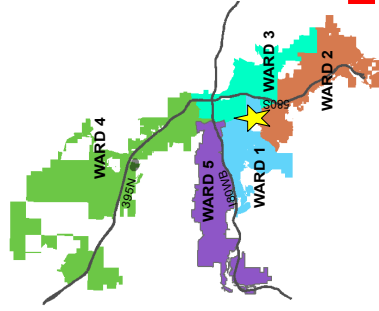
Exhibit A - Case Maps

AREA MAP

LDC22-00050

(Sierra Senior Care
PUD Amendment)

Subject Site ► 



WARD 1



Development
Services
Department




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Date: February 2022
Scale: 1 inch = 550 feet

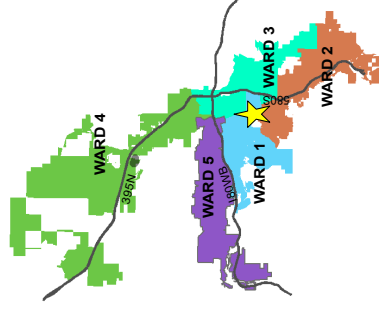


VICINITY MAP

LDC22-00050

(Sierra Senior Care
PUD Amendment)

Subject Site ► 



WARD 1



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Date: February 2022
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ZONING MAP







LDC22-00050

(Sierra Senior Care
PUD Amendment)

ZONING = PD

Subject Site ► 

Zoning Designations

	SF-3
	MF-30
	MU
	PO
	PF
	PD

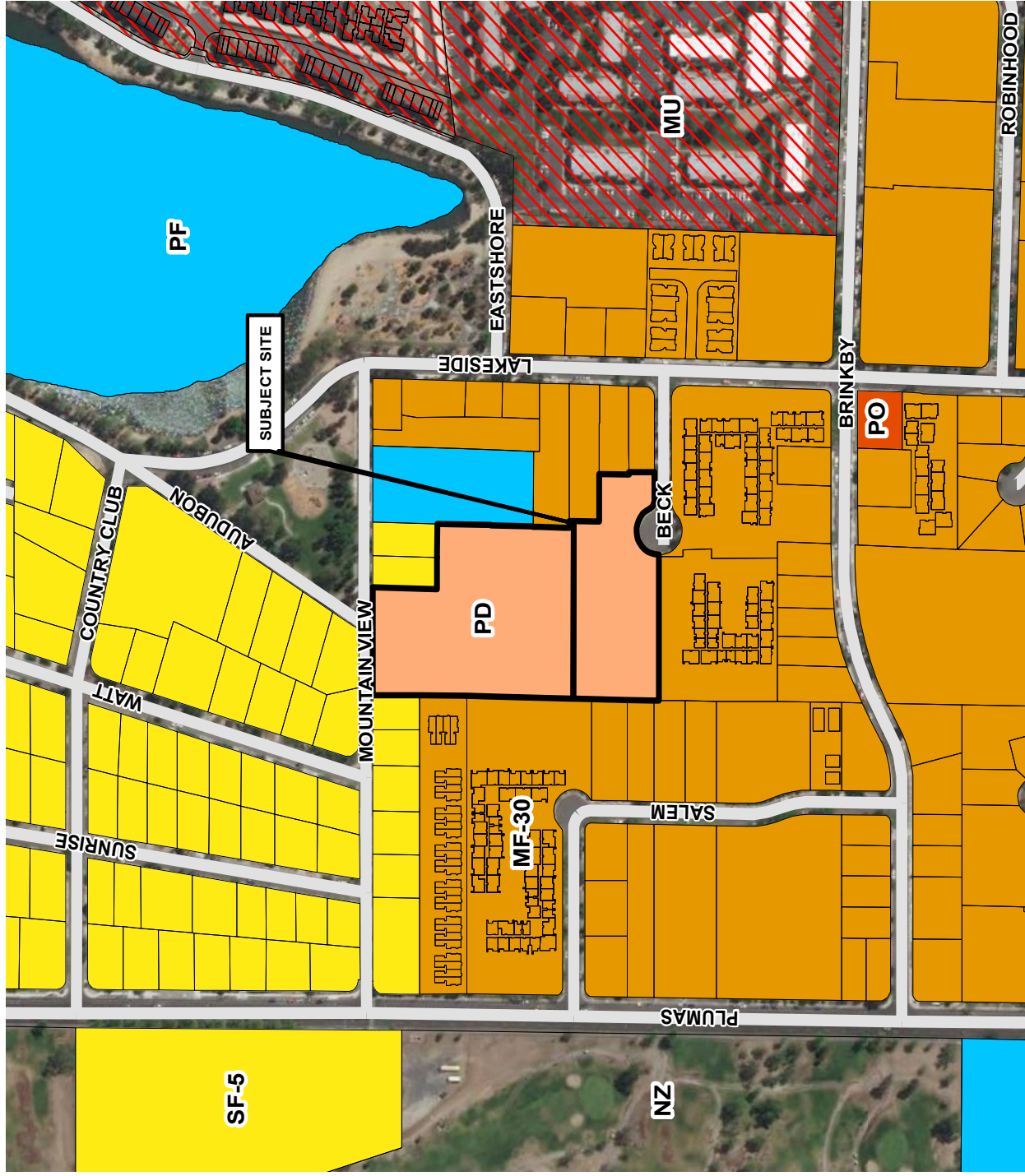


Development
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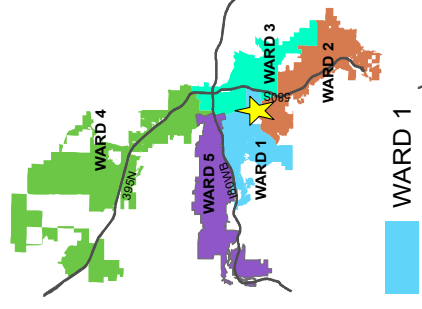
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MASTER PLAN MAP

LDC22-00050
(Sierra Senior Care
PUD Amendment)

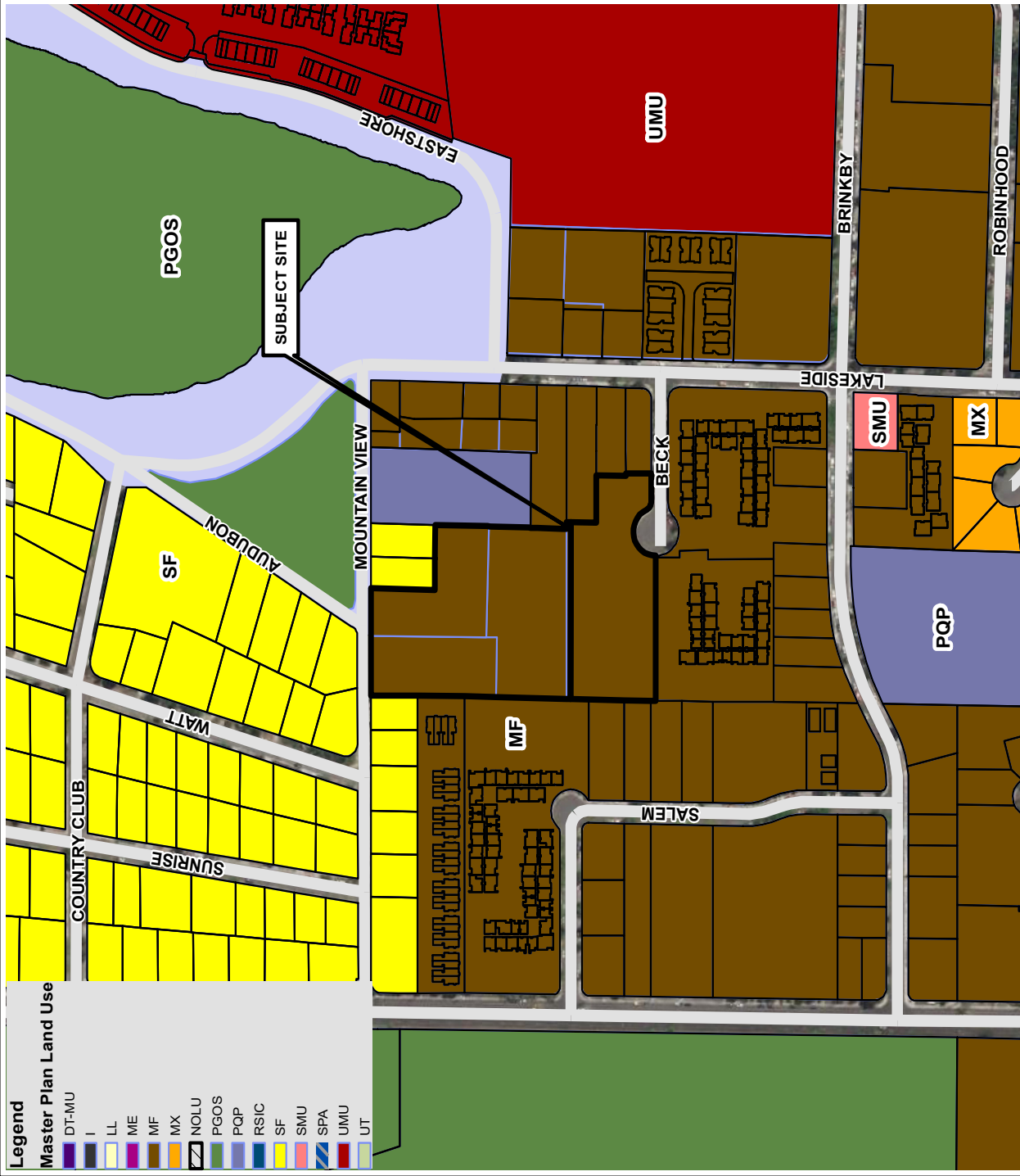
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SIERRA SENIOR CARE PLANNED UNIT DEVELOPMENT

DESIGN STANDARDS HANDBOOK



APPROVED JANUARY 19, 2011
First Amendment – February 25, 2015
Second Amendment – September 27, 2017
Third Amendment -

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PROJECT DESCRIPTION

The Sierra Senior Care Development is located at the south end of Virginia Lake Park between Mountain View Drive and Beck Street and west of Lakeside Drive in Reno, Nevada. The project consists of four parcels encompassing a total site acreage of 5.09 acres. The parcels have access from Mountain View Drive at the north end and Beck Street to the south. The location of the project is depicted in FIGURE 1, Vicinity Map.

Sierra Senior Care, when fully developed, will provide a mix of multi-family and senior living facilities as follows: Phase 1) a 44 unit multi-family residential development located on the southern portion of the PUD, Phase 2) a 48 bed memory care facility located on the center portion of the PUD, and Phase 3) Six Cottages for 12 one or two bedroom independent living units. Residents of the Independent Living units will need to be age 55 or older to rent one of the units. The entire property will be professionally managed by one or more entities that are properly licensed by the State of Nevada. FIGURE 2, Site Plan, depicts the overall layout of the project.

~~An~~ Two alternative options to the memory care/independent living cottages located on the north ±3.2 acres of the PUD are 1) is a 32 bed memory care and 82 bed assisted living facility and, 2) a 96-unit multi-family residential development, as described in this handbook. The development and operational standards for ~~the~~ is alternative uses ~~begin on page 296~~ of this PUD Handbook.

PROJECT INTENT & PURPOSE

It is the intent of this handbook to 1) limit the uses of the site to multi-family and senior living/senior care as shown on TABLE 1; 2) clearly define the site layout including access, parking, and landscape requirements; and 3) specify the architecture, colors, and allowed building heights to give the surrounding neighborhoods the assurance as to what will develop on this site. (refer to page 19 for the affordable multi-family option uses and standards and to page ~~296~~ for the memory care/assisted living or multi-family residential uses and standards).

This Planned Unit Development will ensure that the site and buildings within the project will be developed in a manner which will complement each other as well as the surrounding area. Based upon the high visibility of the site and the fact that these parcels lie adjacent to the Country Club Acres Neighborhood Plan, it is the intent and purpose of this Planned Unit Development to provide a project which will be developed to a higher standard than would occur under standard zoning and development procedures. This planned unit development will also provide for a more consistent review and permitting process for individual facilities.

Requirements contained in this handbook will ensure compatibility between each phase of the project. This will be achieved with similar landscape palettes, use of earth tone colors, and use of Craftsman-complimentary style architecture throughout. In addition, a blanket parking and access easement will be recorded on the entire site allowing for access and shared parking, such that all required parking will be contained on-site.

This PUD will sharply delineate, from an architectural as well as site design aspect, the transition

from the Country Club Acres residential area located to the north and the high density developments to the south, west, and east of the project site. This project will establish a desirable transition in building size, building height, and landscape when traveling between Country Club Acres and the adjoining apartments and condominiums.

The allowed Land Uses will include Independent Living, Memory Care, Assisted Living, ~~and~~ Affordable Multi-Family residential and Multi-Family residential. TABLE 1 below lists the maximum number of allowed dwelling units and beds of the above-mentioned uses. Figure 2 shows the phasing and location of each use. (refer to page ~~22~~19 for the affordable multi-family option uses and standards and to page 29 for the memory care/assisted living or multi-family residential uses and standards)

TABLE 1 – LIST OF ALLOWED AND ALTERNATIVE LAND USES

Land Use	Dwelling Units or Beds	Phase
Affordable Multi-Family	44 units	1
Memory Care	48 beds max.	2
Independent Living (Duets/Cottages)	12 d.u. (1 or 2 bedrooms)	3

Alternative Land Uses		
Land Use	Dwelling Units or Beds	Phase
<u>Option 1 - Memory Care</u>	32 beds max.	2 (northern portion of site)
<u>Option 1 - Assisted Living</u>	82 beds max.	2 (northern portion of site)
<u>Option 2 - Multi-Family</u>	<u>96 units</u>	<u>2 (northern portion of site)</u>

Build out of the project will be dependent on market conditions and is estimated to be within 5 years. The 5 year time frame shall start at the time of final approval (the recording date of the certified handbook). If the project is not completed at the end of 5 years then the PUD will require an application to the City Council to determine if it is appropriate to extend the development schedule prior to further development.

A development agreement between the Sierra Senior Care PUD properties and CC&R's will govern maintenance of the property, once the project is constructed.

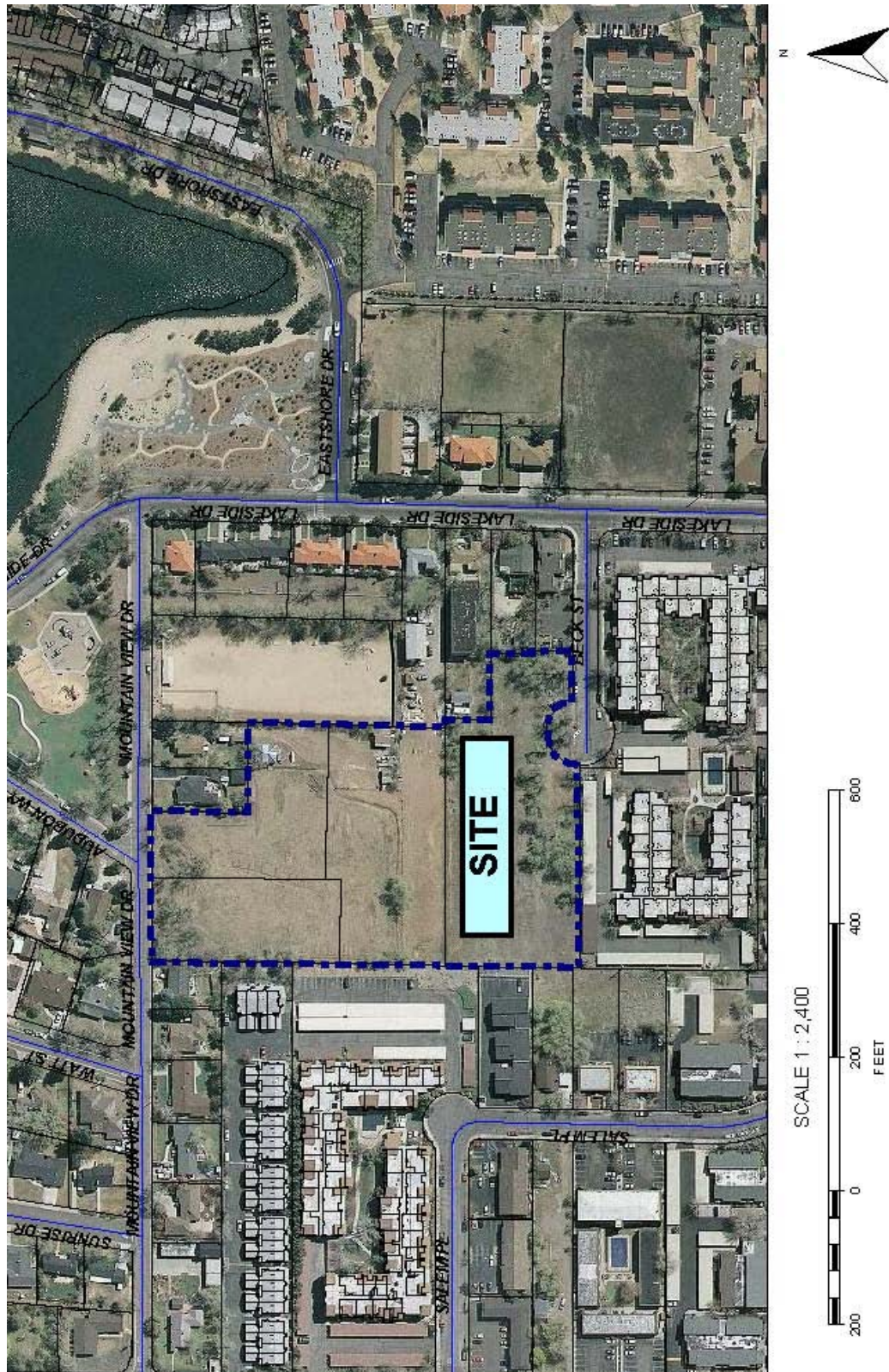


FIGURE 1 – VICINITY MAP

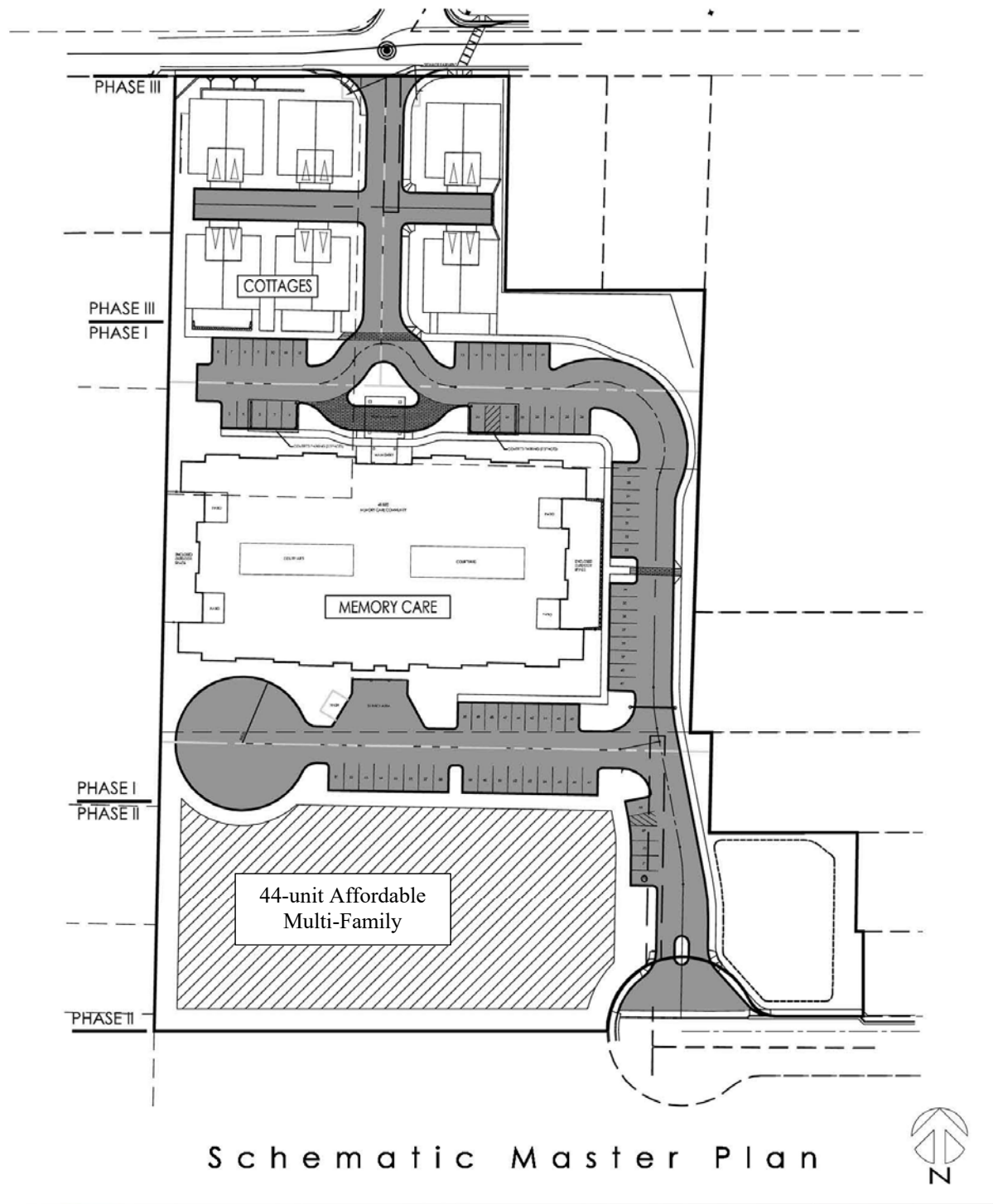


FIGURE 2 – SIERRA SENIOR CARE SITE PLAN

GENERAL DESIGN STANDARDS

PURPOSE

The purpose of these Design Guidelines is to specify permitted uses and development standards for Sierra Senior Care. The following sections will specify standards for general design, site design, landscape, fencing, lighting, screening, architecture, and signage. These are the standards to which this project will be built.

CONFLICTS WITH RENO CITY CODE AND HANDBOOK STANDARDS

When there is a discrepancy between these Planned Unit Development (PUD) requirements including text, details, and exhibits, the more restrictive shall apply. Unless specifically addressed in these PUD Design Standards, the applicable sections of the City of Reno Development Code, Title 18 as amended, shall apply at the time of application for each building permit. The affordable multi-family option shall comply with all standards listed below unless modified by standards beginning on page ~~224~~9 of this Handbook. The 32 bed Memory Care and 82 bed Assisted Living Facility option and the 96-unit Multi-Family Residential Development shall comply with all standards listed below unless modified by standards beginning on page ~~29~~6 of this Handbook.

PARCEL SIZE AND STANDARDS

The minimum parcel size shall be 9,000 square feet with a minimum lot width of 70 feet. Building Setbacks from property lines and minimum building separation will be as follows:

- 12 feet minimum along Mountain View Drive.
- 10 feet minimum along the west property line
- 5 feet minimum along the east property line for the Cottages
- 50 feet minimum along the east property line for the Memory Care and Assisted Living/Skilled Nursing
- 10 feet minimum along the south property line
- 15 feet minimum from all interior property lines
- 10 feet minimum building separation between Cottages & 50 feet minimum for all other buildings

Cottages and the Memory Care facility shall be limited to a single-story structure with a maximum building height of 25 feet. The 44-unit multi-family apartment project shall be limited to a two story structure with a maximum building height of 35 feet. The definition of building height shall be as defined within the Reno Municipal Code at the time each building permit is submitted.

~~An~~The alternative options to the memory care and independent living cottages located on the northern ±3.2 acres of the PUD ~~is~~are 1) a 32-bed memory care and 82 bed assisted living facility or 2) a 96-unit multi-family residential development, as described in this handbook. The development and operational standards for ~~this~~the alternative uses begin on page ~~296~~ of this PUD Handbook.

ALLOWED USES

Allowable uses within the project shall be limited to the following.

- Senior Independent Living (over 55 years of age) - Maximum of 12 two bedroom units (Cottages).
- Memory Care Facility - Maximum of 48 beds.
 - ~~An~~a alternative options to the Senior Independent Living and 48 bed Memory Care Facility on the northern 3.2 acres of the PUD ~~is~~are 1) a 32 bed Memory Care and 82 bed Assisted Living Facility, or 2) a 96-unit multi-family residential development, as described in this Handbook. The development and operational standards for this alternative use begin on page ~~296~~ of this PUD Handbook.
- 44-unit affordable multi-family apartment project, as described starting on page ~~224~~9.

SITE PLANNING

Vehicular Access

Sierra Senior Care will be accessed from both Mountain View Drive and Beck Street as follows:

STANDARDS

- The access point on Mountain View Drive shall incorporate a traffic calming device to calm traffic on Mountain View and provide for safe pedestrian crossings to the City Engineer's approval. The traffic calming device shall be designed to physically slow speeds. Plans for the traffic calming device shall be submitted to the city for approval with the first permit issued for the project and constructed prior to issuance of the first certificate of occupancy.
- The cul-de-sac bulb on Beck Street will be completed in accordance with city requirements for half street improvements prior to issuance of the first certificate of occupancy.
- All service vehicles for the Memory Care and the affordable multi-family option shall access the site from Beck Street.
- The Cottages and Memory Care facility shall take primary access, including visitor access, from Mountain View Drive; secondary access and employee access shall be from Beck Street. The affordable multi-family option shall take primary access from Beck Street; secondary emergency vehicle access shall be from Mountain View Drive.
- A gate with keypad shall be installed with the second phase on the main access drive at the southeast corner of the Memory Care facility to separate the affordable multi-family option access from the Memory Care and Cottages as noted above. This gate will provide for access by the Reno Fire Department and other emergency vehicles; and shall be designed and constructed to the satisfaction of the Fire Marshall.
- All improvements shall be required to satisfy and meet the requirements of the City of Reno Public Works Design Manual in effect at the time of each permit submittal.

The design alternatives of the 32 bed Memory Care and 82 bed Assisted Living Facility and the 96-unit Multi-Family Residential Development shall have specific vehicular access requirements as outlined starting on page 296.

Interior Site Circulation

STANDARDS

- Interior Site circulation shall be laid out in accordance with the site plan as shown in APPENDIX A; and shall conform to all City of Reno Design Standards for drive aisle width and emergency vehicle access. Interior circulation patterns shall be laid out in a manner which will provide for logical traffic flow patterns and shall take into account fire department access, service vehicle and delivery truck parking for deliveries as well as Disposal services.
- Provide directional signage to clearly delineate traffic flow patterns.

Pedestrian Access and Circulation

STANDARDS

- To provide pedestrian access to the Sierra Senior Care, sidewalks shall be constructed along Mountain View Drive adjoining the project and along the unfinished cul-de-sac bulb on Beck

Street. These improvements shall be completed to include accessible ramps, as required by city code, prior to issuance of the first certificate of occupancy.

- Interior pedestrian circulation shall include a system of concrete walkways to extend along the main entry from Mountain View Drive and then along the east boundary of the property to Beck Street. Where the site abuts the City of Reno park parcel (Dog Park), the sidewalk shall have a landscape strip located behind the back of walk along the park property boundary as shown on the Landscape Plan included in APPENDIX A.
- Internal sidewalks shall have a minimum width of five feet (5').
- Walkways adjacent to buildings shall be placed to provide safe and logical pathways from parking areas to building entrances, and from building to building.
- Pedestrian walkways shall be separated from buildings with a minimum 5-foot wide landscape strip located between the sidewalk and the building.

Pedestrian access and circulation standards related to the alternative 32-bed memory care/82-bed assisted living facility and the 96-unit multi-family residential development can be found on page 296.

Parking

STANDARDS

- Parking areas shall be laid out in accordance with the site plan included in APPENDIX A.
- The following number of parking spaces will be required:
 - Independent Living Cottages - 1.2 spaces per unit.
 - Memory Care - 0.4 spaces per bed.
- A reciprocal parking and access easement shall be recorded for all access and surface parking areas (excluding the alley way that provides access to the duet garages) prior to the issuance of the first building permit.
- All parking spaces shall be a minimum of 9 feet in width.
- Maximum allowable vehicle overhang shall be 24 inches. In no case shall the usable sidewalk width be less than 5 feet. Thus, where vehicles are allowed to overhang a sidewalk where parking stalls abut, the minimum sidewalk width shall be 7 feet.
- Curb bumpers are not allowed.
- Parking standards related to the alternative 32-bed memory care/82-bed assisted living facility and the 96-unit multi-family residential development can be found on page 296.

SITE DESIGN

Fencing

STANDARDS

- Colors and materials of fences shall be consistent with the overall project design concept and may consist of wood, wrought iron, decorative metal or other similar materials consistent with the overall project design concept.
- Fences shall step, rather than slope, to accommodate grade change.

- All fence heights should comply with standards ~~in of~~ MF-30 RMC standards 18.12.140104.809, as amended.

Chain Link Fences

- A maximum six-foot tall, green, vinyl coated chain link fencing shall be allowed along the west boundary of the project from the southwest corner of the project to the south property line of the single-family home located to the northwest of the PUD. This fence shall be constructed prior to the issuance of the first certificate of occupancy.
- The chain link fencing that exists on the east property line adjacent to the park parcel (Dog Park) can continue to serve as perimeter project fencing in this location.
- No other chain link fencing is allowed.

Site Grading & Retaining Walls

STANDARDS

- Site grading shall be done in a manner to create as little impact to surrounding areas as possible.
- Colors and materials of retaining walls shall be consistent with the overall project design concept and may consist of rockery, masonry block and stamped/colored concrete or other similar materials consistent with the overall project design concept.
- Retaining walls shall not exceed 8-10 feet in height.
- Fencing on top of retaining walls/rockeries shall be decorative metal.

Retaining wall standards related to the alternative 32-bed memory care/82-bed assisted living facility and the 96-unit multi-family residential development can be found on page 34.

Landscape Architecture

Landscape design, planting, and irrigation shall be in conformance with City of Reno code requirements and as shown on the landscape plan included in APPENDIX A. THE minimum landscape area shall be 20% (at least 20% of the gross site area). In addition, each individual phase of the project shall provide a landscaped area equal to or greater than 20% of the total area of the parcels contained in that phase. If necessary, additional landscaping shall be installed on an adjoining parcel within the project to meet the 20% minimum landscape area requirement of both that phase and the total completed phases.

Landscape standards related to the alternative 32-bed memory care/82-bed assisted living facility and the 96-unit multi-family residential development can be found on page 2833.

STANDARDS

- Minimum site area to be landscaped in total and for each phase - 20%.
- Planting areas shall include landscape berms/vertical elevation changes to create a more

interesting landscape without impacting the ability to include low impact design features such as water harvesting.

- Trees shall be planted in a manner to provide shade and winter wind breaks.
- ~~Parking lots and sidewalks shall be separated from buildings by a minimum 6-foot wide landscape strip.~~

Plant Material

STANDARDS

Plant material shall conform to City of Reno Design Standard requirements for size, height, quantity and coverage.

Irrigation

STANDARDS

- All planting areas shall have automatic irrigation systems that are designed to minimize water usage.

Site Lighting

Lighting will be utilized to enhance site safety as well as provide another form of architectural relief to the site.

STANDARDS

- All exterior lights shall be dark sky certified.
- Site lighting will be functional and shall be placed to illuminate drive aisles, parking areas, and pedestrian pathways as needed only for safety and security.
- Entrances and accent features shall be identified with distinctive lighting.
- Parking lot area lighting shall be Craftsman or similar decorative style complimentary to the architecture of the building. Lighting shall be consistent throughout the site.
- Parking lot lighting shall be limited to a maximum of ~~15~~20 feet in height, ~~and shall be dimmed after 11 p.m.~~
- Light standards shall employ shields to prevent light spillover beyond the property line.
- Building and architectural lighting shall be indirect and a Craftsman or similar architectural style compatible with the architecture of the building.
- Pedestrian lighting shall provide illumination in a manner to provide sufficient and even light coverage.
- Parking lot and drive aisle lighting shall be placed to avoid conflict with site landscaping and structures.
- Bollards lighting shall be used for pedestrian pathways where needed to supplement parking lot and building lights.

- A photometric plan shall be submitted with each permit to confirm the following lighting levels: Minimum light levels within parking and pedestrian sidewalk/pathway areas shall be at least 1 foot candle. Maximum light spillover immediately beyond any residential property line shall not exceed 0.05 foot candles.

ARCHITECTURE

Purpose

The architectural palette of the Sierra Senior Care campus shall be based on a contemporary interpretation of Craftsman and ~~Ranch~~ Rustic architectural styles for the larger scale buildings. The cottages shall be consistent with the smaller bungalow in both style and scale.

Reference Appendix "B" for Sierra Senior Care Architecture - Elevations for the Memory Care building. The remaining buildings shall be consistent with the design of the memory care building and the following standards.

Specific architectural standards related to the 44-unit multifamily development can be found beginning on page ~~24~~ and the standards related to the alternative 32-bed memory care/82-bed assisted living facility and the 96-unit multi-family residential development can be found on page ~~37~~.

Architectural Character

Purpose

The project is characterized by the rustic texture of the building materials, broad overhangs with exposed rafter tails at the eaves, and battered (or tapered) forms.

STANDARDS

- All project buildings shall be designed with compatible or common architectural features, styles and materials.
- Auxiliary structures such as trash enclosures and outdoor storage for landscape and building maintenance shall be integrated into the overall design theme of the project.
- All project buildings shall be compatible in mass, height, material and color and incorporate common design elements such as landscaping, signage and lighting.
- Consistent window treatments/fenestration shall be incorporated on all project buildings to enhance the architectural quality of the structure.

Articulated Surfaces/Textures

Purpose

Articulated surfaces and texture shall be used to add interest to all project building elevations and avoid creating a blank wall appearance.

STANDARDS

- Buildings shall be appropriately detailed on all sides to create four-sided building elevations that are consistent with ~~the~~ a contemporary interpretation of Craftsman and Rustic ~~Craftsman~~ style.
- If a building backs to the hillside along the west side of the site and it is demonstrated by the developer not to be in public view, that portion of the building facing the hillside may not require extensive articulation subject to the approval of the zoning administrator.

Colors and Materials

STANDARDS

- ~~Earth tones~~ Complimentary light tone colors shall be used for the primary surface color.
- Deep and vibrant colors can be used for accents, window frames, doors and details but shall not be used for the primary building color.
- Colors and materials of roofs and facades facing a public street or primary parking area shall be consistent throughout.
- Acceptable materials include decorative block, brick, tile, stone, wood, simulated wood, glass, exterior cement plaster, and composition panels that will achieve the requirement of a contemporary interpretation of Craftsman and Rustic ~~the Craftsman~~ themes.
- Pastel colors are specifically prohibited.
- Accent colors shall include blues, greys, greens, reds, and shades of those related palettes.

Roofs and Rooftop Screening

Purpose

Roofs and rooftop screening standards facilitate attractive, unobtrusive views to the extent possible from of roofs from neighboring properties. Roof standards promote visual continuity by establishing compatible materials and colors for the project. Roof forms and roof elements shall be utilized in response to the defined design elements for the project ~~and its Craftsman theme~~.

STANDARDS

- Mechanical equipment such as air conditioning and heating units ~~shall not~~ may be placed on

rooftops ~~unless required by the building code.~~

- All other mechanical equipment shall be ~~ground mounted and~~ screened in accordance with city code.
- When code requires rooftop equipment, architectural screening shall be provided.
- The design character of rooftop screening (when required) shall be compatible with similar materials, form and color as that of the building below.
- Communication equipment shall be screened.
- Drainage equipment must be visually integrated into the building design as an enhancement or accent.
- Roof forms shall be articulated using gables, hips, clerestories, dormers and full roofs or a flat roof with articulations to break up continuous planes.

Materials

- Roof materials shall consist of slate, tile, composition shingle (30-year minimum), TPO, or commercial grade metal roofing consistent with the architectural theme.

Colors

- Highly reflective roof surfaces are prohibited.
- Bright, dominant roof colors are prohibited.
- Canopies shall consist of colors consistent with a contemporary interpretation of Craftsman and Rustic ~~the Craftsman~~ themes and building color palette.

Service Area and Utility Screening

Purpose

Service area ~~and utility~~ screening standards ensure that ground mounted storage/service areas, loading, and trash collection areas ~~and utilities~~ are screened from adjacent streets, drives, open spaces and public areas in building interiors. Utility areas shall be installed per NV Energy standards. Additionally, the standards promote efficient access to service, loading and storage areas, utilities and trash collections.

STANDARDS

- Trash collection areas shall be screened from adjacent streets and properties and shall be located for efficient collection and deposit of refuse.
- Materials used for trash enclosures shall include colors and finishes complementary with the architectural character of the principal structure(s).
- Above ground utility equipment shall be installed in accordance with standards ~~screened with~~

~~berms, plantings or enclosures which are acceptable to~~ required by the appropriate utility company. ~~Enclosures should be designed to serve both transformers and trash containers if they can be located together.~~

- Above ground equipment shall be painted to visually blend in with its' surroundings.
- On-site utilities such as sewers, gas lines, water lines, drainage systems, electrical, telephone and communication systems shall be installed underground.
- Every building (excluding cottages, clubhouses, and apartment buildings) shall have its own trash enclosure containing a dumpster of sufficient size for the building use.

SIGNAGE

Signs for Sierra Senior Care shall be designed to identify and locate individual care facilities for passing motorists while remaining unobtrusive to surrounding areas. All signs shall be consistent with site architecture and Craftsman theme. Sign plans shall be reviewed and approved by the administrator prior to the issuance of the first building permit.

Monument Signs

- One indirectly illuminated monument sign, 6 feet maximum in height and 60 square feet maximum in size, shall be located that will allow identification of each care facility on both entrances at Mountain View Drive and Beck Street. The signs shall be located to the approval of the administrator and shall be consistent with the sign design shown in FIGURE 3.
- One indirectly illuminated monument sign, 5 feet maximum in height and 50 square feet maximum in size shall be allowed for each care facility, to be in close proximity to the building to clearly identify the facility. The signs shall be located to the approval of the administrator and shall be consistent with the sign design shown in FIGURE 3. Address letters shall be clearly posted on these signs that are easily read by approaching vehicles as per FIGURE 3.



FIGURE 3 – PROJECT MONUMENT SIGN GRAPHIC

Address Signs

- Individual building and unit address signs shall be installed on each structure to the satisfaction of the Reno Fire Department, prior to the issuance of a certificate of occupancy for the structure.
- Address signs shall be clearly visible to visitors and delivery personnel.

ENTITLEMENT PROCESS

- Architectural and Civil improvement drawings must be submitted and approved prior to issuance of any permit for each phase of the project. These drawings must be in substantial compliance with the site plan, landscape plan, civil improvement plans as contained in Appendix A; and the architectural plans for the Memory Care building as contained in Appendix B of this PUD handbook. The Assisted Living/Skilled Nursing and Cottage buildings or the 96-unit multi-family residential development shall be consistent with the design of the memory care building and standards contained in this PUD handbook.
- Phase 1 shall include a traffic calming device at the Mountain View with Audubon intersection, and accessible ramps on the southwest, southeast, and northeast corners of the Mountain View with Audubon intersection. A five-foot concrete sidewalk shall be constructed along Mountain View Drive adjacent to the project prior to issuance of the first certificate of occupancy.
- Phase 1 shall include completion of the cul-de-sac on Beck Street to City of Reno half street

standards to include curb, gutter, and sidewalk; to be constructed prior to issuance of the first certificate of occupancy.

- Building permits are required for each new structure to the approval of the zoning administrator and/or his designee.

INFRASTRUCTURE IMPROVEMENTS

Onsite and offsite private infrastructure including but not limited to Sanitary Sewer, Storm Sewer and Gas, Water and Electric shall satisfy and be constructed in accordance with requirements contained in the City of Reno Public Works Design Manual, latest edition.

Sanitary Sewer

It is anticipated that sewer generated by the Cottages will be piped to connect with an existing manhole located at the Mountain View Drive/Audubon Way intersection. Sewer from the Memory Care and Assisted Living/Skilled Nursing will be piped to an existing manhole located in Beck Street.

Storm Drainage

Required storm water detention facilities will be located at the far southeast corner of the property.

Gas, Water and Electric

Gas, water and electrical connections shall be coordinated with NV Energy and Truckee Meadows Water authority and will be sized to accommodate all proposed uses.

Maintenance Requirements

Prior to approval of the first building permit, the applicant/developer shall provide appropriate documentation that CC&R's specific to the project are recorded with the Washoe County Recorder's office to insure and enforce maintenance of all site landscaping, building exteriors, roofing, on site drainage improvements and site lighting. This association shall remain in force and effect throughout the lifetime of this project.

44 Unit Affordable Multi-Family Apartments located on the south 1.91 acres of the PUD

Operational Standards

Northern Nevada Community Housing Resource Board (NNCHRB) may develop and operate a 44-unit apartment project to serve low income individuals and families with 9 Special Needs units imbedded in the project with a housing preference to Veterans. Three of the units will be reserved for individuals or families earning 30% or less of the area median income (AMI) and 41 of the units will target 40% AMI and below.

The project will have one, two-story building containing 44 apartment units with approximately 60% of the units having 2 bedrooms and approximately 40% of the units having one bedroom; and a one story +/-500 square foot community building. The one-bedroom units will average about 622 square feet and the two bedroom units will average about 831 square feet. The building will be designed to blend in with the adjacent multi-family developments and be architecturally compatible with the Craftsman theme, as described in the PUD Handbook design standards and depicted on Figure 5.

All prospective tenants will be required to go through a strict background and financial check. They must have enough income to meet the minimum rental guidelines, but also cannot exceed the low-income thresholds. All applicants with a felony conviction in the past three years will be denied residency into the project. Applicants with a violent criminal or sexual conviction on their record will be denied residency into the project.

Per the affordable housing requirements, quarterly and annual review of the project, tenant files and overall maintenance is required, to ensure that the project complies with the funding source requirements.

NNCHRB employees are required to receive Crime Free Multi-Family Housing Training from the Reno Police Department, and receive a certificate upon completion. The management staff shall work with neighborhood action Reno Police Department officers that are assigned to the neighborhood to look out for criminal activity. If any of the tenant(s) get into trouble with the Reno Police Department, management shall be made aware of the issues and can evict the tenant(s) for not adhering to the rental agreement. Surveillance cameras shall be located throughout the property to monitor the facility on both the inside and outside of the project buildings. The surveillance camera monitoring station shall be located inside the leasing office so that prospective tenants know they are safe and to deter any potential criminals from applying to live at the property.

The affordable housing project is intended to be developed with HOME funding and State of Nevada Tax Credit funds. The HOME Investment Partnerships Program (HOME) provides formula grants to States and localities that communities use - often in partnership with local nonprofit groups - to fund a wide range of activities including building affordable housing for rent. Although, one of the requirements for HOME funding is that the project remains as an affordable housing development for a minimum of 30 years, NNCHRB shall guarantee that the property will

be maintained as an affordable housing project for 50 years. This guarantee is tied to the Nevada State Tax Credit funding application that is required to be submitted prior to approval of the project funding; and verified to City staff prior to issuance of a building permit for the affordable multifamily apartments.

44 Unit Affordable Multi-Family Apartment Standards

Project amenities shall include:

- 500 square foot community room
- Exercise room
- Computer study room
- Library
- Laundry facilities
- Outdoor patio/balconies
- Picnic tables
- BBQ's
- Children's playground

Site Design Standards

- The affordable multi-family apartments shall take primary access from Beck Street; gated secondary access shall be provided from Mountain View Drive.
- Public pedestrian walkways and parking lots shall be separated from the building with a minimum 3-foot-wide landscape strip located between the sidewalk and the building.
- The following number of parking spaces will be required:
 - 1.5 spaces per 1 bedroom unit
 - 2 spaces per 2 bedroom unit
 - 1 per 10 du for guest parking
- An affordable housing parking reduction of up to 45% may be applied, subject to meeting the requirements of MF-30 RMC standards ~~RMC 18.12.203~~, as amended,
- The 44-unit affordable multi-family option will have five years to submit for a building permit or the entitlement will expire. The 5-year time limit may be extended through approval by the Planning Commission.
- The project owner/operator shall provide a disclosure notice to each renter with their rental documents, notifying them that students living in this project may be assigned to the nearest school(s) with available capacity in the event that the zoned schools cannot accommodate additional students.

Architectural Standards

The project is characterized as having a Craftsman style theme. Architectural elements include broad overhangs and exposed rafter tails at the eaves.

- All project elements shall be designed with compatible or common architectural features, styles and materials.
- Auxiliary structures such as trash enclosures shall be integrated into the overall design theme through materials and color.
- All project buildings shall be compatible in mass, height, material and color and incorporate common design elements such as landscaping, signage and lighting.
- Consistent window treatments/fenestration shall be incorporated on all project buildings to enhance the architectural quality of the structure.
- Earth tones shall be used for the primary surface color.
- Accent, color can be used for window frames, doors, trim, rafter tails, and details but shall not be used for the primary building color.
- Colors and materials of roofs and facades facing a public street or primary parking area shall be consistent throughout.
- Acceptable materials include decorative block, brick, wood, simulated wood, glass, exterior cement plaster, cement composition siding, and metal that will achieve the requirement of the Craftsman theme.
- Acceptable secondary colors include shades blues, greys, greens, reds, commensurate with a Craftsman palette.
- Acceptable accent colors include off whites and exposed natural material including stained woods, and non-reflective metals.
- All mechanical equipment such as air conditioning and heating units shall be either ground mounted and visually screened or rooftop mounted and visually screened in accordance with city code.
- The design character of rooftop screening (when required) shall be compatible with similar materials, form and color as that of the building below.
- Communication equipment shall be either screened or designed to match the surrounding building in color and or material.
- Drainage equipment must be visually integrated into the building design as an enhancement or accent.
- Roof forms shall be articulated using gables, hips, clerestories, dormers, or sheds to break up continuous planes.
- Photovoltaic solar panels shall be mounted to metal roof areas in an “integrated” manner. Photovoltaic panels shall be arranged to meet both Fire Department, efficiency, and non-glare conditions.

Signage

Signs for the affordable apartments shall be designed to identify facilities for passing motorists while remaining unobtrusive to surrounding areas. All signs shall be consistent with site architecture and Craftsman theme. Sign plans shall be reviewed and approved by the administrator prior to the issuance of the first building permit.

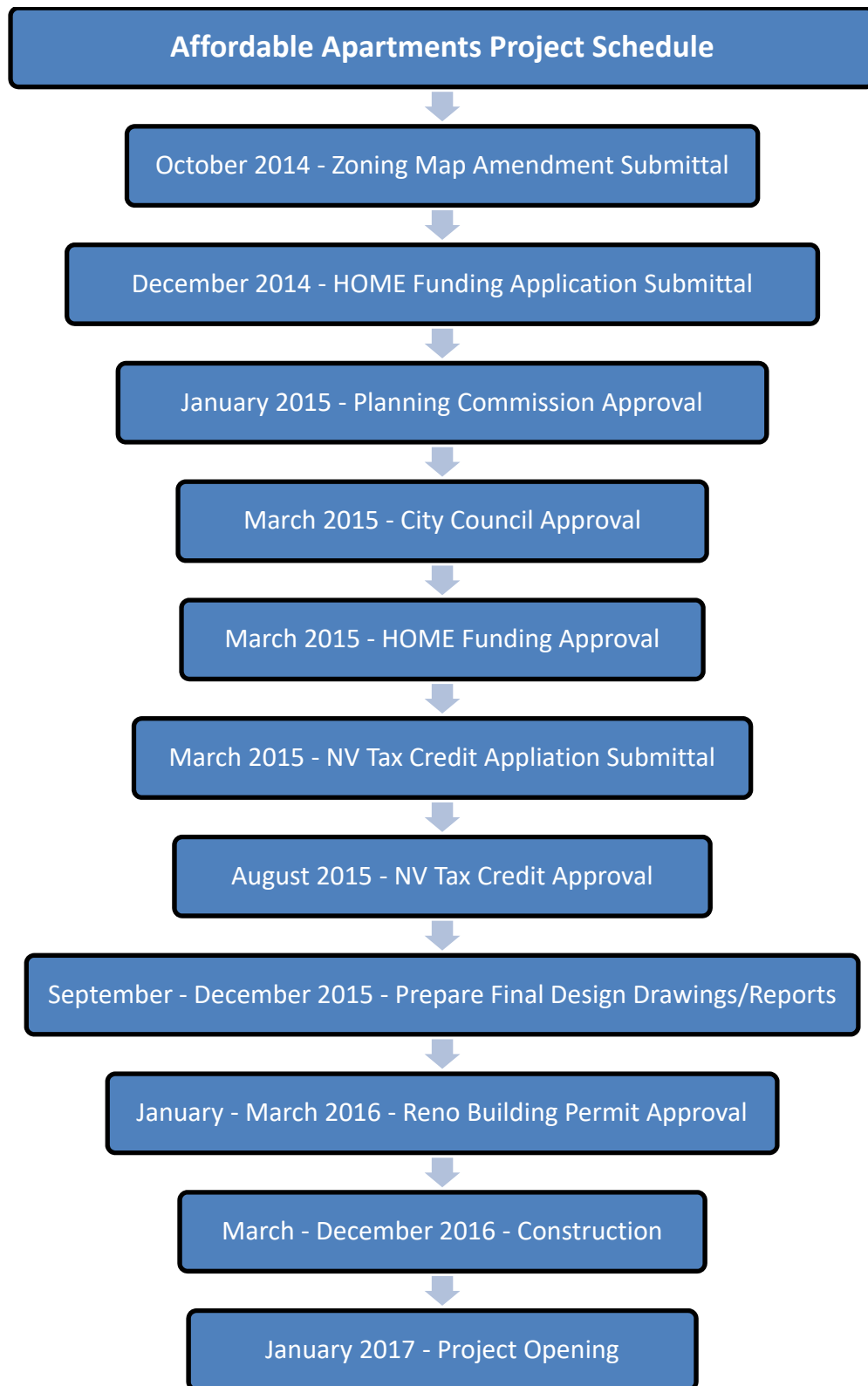
Monument Sign

- One indirectly illuminated monument sign, 6 feet maximum in height and 60 square feet maximum in size, shall be located at the terminus of Beck Street. The sign shall be located to the approval of the administrator and shall be consistent with the sign design character of the Craftsman theme.

Address Signs

- Individual building and unit address signs shall be installed on each structure to the satisfaction of the Reno Fire Department, prior to the issuance of a certificate of occupancy for the structure.
- Address signs shall be clearly visible to visitors and delivery person.

Estimated Project Timeline



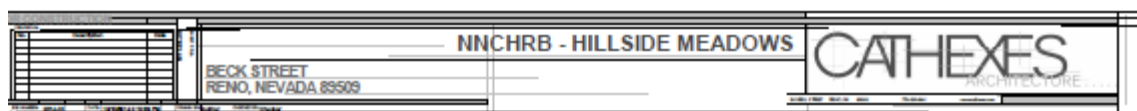
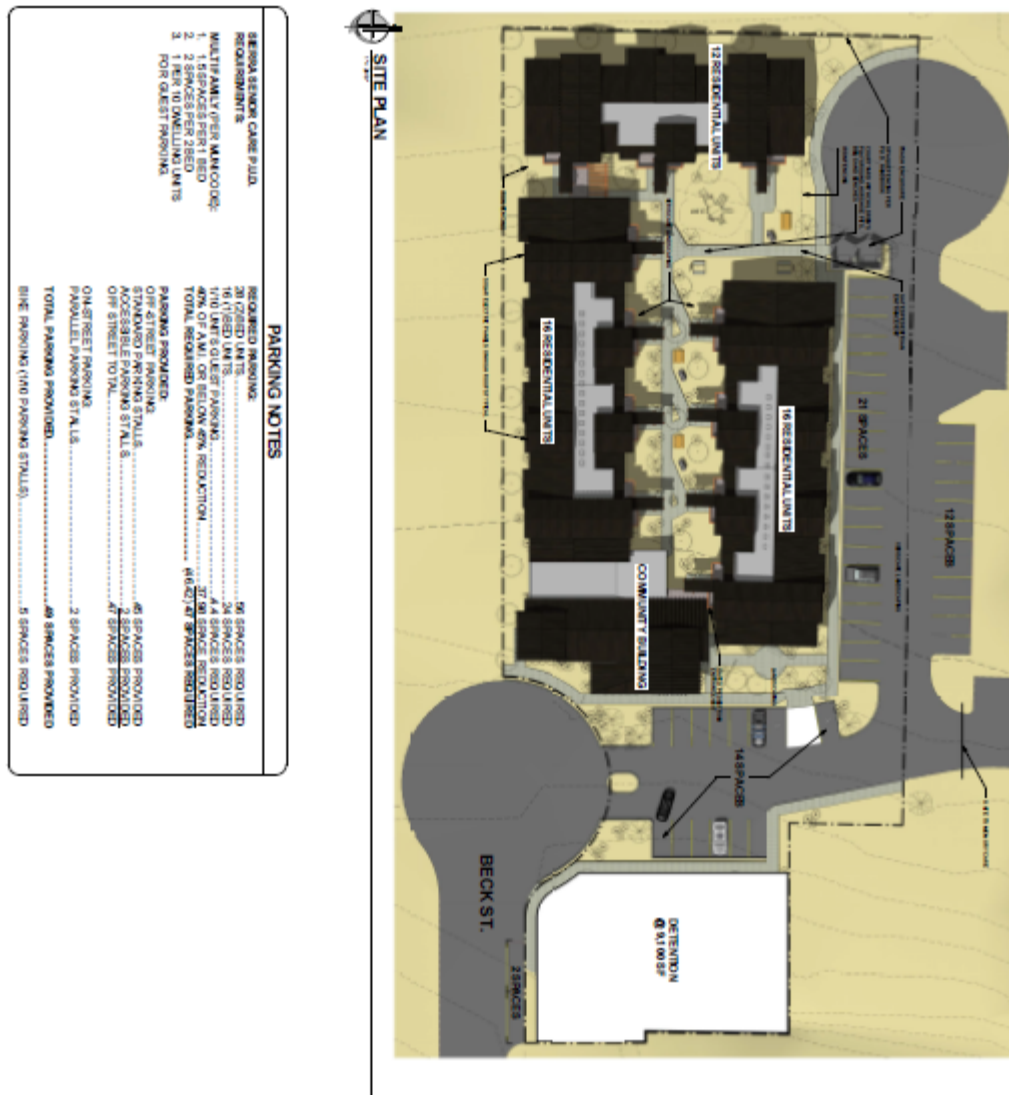


FIGURE 4 – AFFORDABLE APARTMENTS SITE PLAN

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Alternative Options to the 48 bed Memory Care/ and Independent Living Cottages – Alternative 1: 32 bed Memory Care and 82 bed Assisted Living Facility or Alternative 2: 96-unit Multi-Family Residential Development Located on the northern ±3.2 acres of the PUD

USE STANDARDS

Allowed Uses

Allowable uses within the project shall be limited to the following:

- Alternative 1: 32 bed Memory Care and 82 bed Assisted Living
- Alternative 2: ~~82 bed Assisted Living~~ 96-unit Multi-Family Residential Development

Operational Uses

- Alternative 1: 32 bed Memory Care and 82 bed Assisted Living
 - A doctor or nurse will supervise patient care at the facility. Other trained health care providers will be on staff to provide supervision, health care and daily administrative needs.
 - The facility shall be permitted to operate 24 hours per day.
 - Trash pick-up, parking lot sweeping, deliveries and other exterior maintenance activities shall be limited to between the hours of 7:00 a.m. and 9:00 p.m.
 - The courtyard area/patio shall be open to both patients and visitors.
 - Visitor and patient admissions shall take place on the north portion of the building. All visitors and patients shall enter through the main entrance on the north side of the building. Employee access and shipping/receiving of large items shall occur at the southern entrance.
 - If noise from operations become a nuisance to surrounding properties, the operator shall have a licensed acoustical engineer prepare a noise study and demonstrate compliance with the MF-30 RMC standards ~~in RMC 18.12.304(g), as amended.~~
- Alternative 2: 96-unit Multi-Family Residential Development
 - Operational Standards
 - The project will have two- and three-story buildings containing 96 apartment units consisting of studio, one- and two-bedroom units. The units will vary from about 500 square feet to 1100 square feet. The buildings will be designed to blend in with the adjacent multi-family developments and be architecturally compatible with a contemporary

interpretation of Craftsman and Rustic themes, as described in the PUD Handbook design standards.

o Project amenities shall include:

- Up to 3,000 square foot club house
- Gym
- Laundry in each unit
- Outdoor patio/balconies
- Swimming pool
- Outdoor fire pit
- Children's playground

SITE DESIGN

Parcel Size

The total acreage is approximately 3.2 acres in size.

Setbacks

Alternative 1: 32 bed Memory Care and 82 bed Assisted Living

Building setbacks from the property lines will be as follows:

- 115 feet minimum along Mountain View Drive (measured to the face of the posts of the porte cochere)
- 160 feet minimum along Mountain View Drive (measured to the front face of the second story)
- 10 feet minimum along the west property line
- 115 feet minimum along the east property line
- 20 feet minimum along the south property line
- 30 feet from the nearest single family residentially zoned property line

Alternative 2: 96-unit Multi-Family Residential Development

Building setbacks from the property lines will be as follows and as shown on Figure 13:

- 50 feet minimum along Mountain View Drive
- 10 feet minimum along the west property line
- 20 feet minimum along the east property line for apartment buildings
- 20 feet minimum along the south property line
- 20 feet minimum from the nearest single family residentially zoned property line for apartment buildings
- 5 feet minimum from the nearest single family residentially zoned property line for the single story clubhouse building

Building Height

Alternative 1: The building shall be two stories and a maximum height of 35 feet.

Alternative 2: The buildings shall be two and three stories and a maximum height of 45 feet.

Access (vehicle and pedestrian)

Alternative 1: 32 bed Memory Care and 82 bed Assisted Living

Vehicle

- All visitor parking shall be in the northern parking lot, with access off Mountain View Drive.
- All employee parking shall be in the eastern parking lot, with access off Beck Street.
- A gate shall physically separate the visitor and employee parking lots and shall be kept closed at all times, unless needed for emergency services. The gate shall be locked with a Knox box or other form of lock, as approved by the Reno Fire Department.
- Vehicle access and circulation on site shall comply with the MF-30 RMC standardsSection 18.12.901 as amended.

Pedestrian

- Walkways shall provide safe and logical pathways between buildings, the public right-of-way and parking areas.
- A minimum 5-foot wide sidewalk shall be provided along Mountain View Drive and shall connect the sidewalk along the site frontage to the main entrance of the proposed facility.
- Internal sidewalks shall have a minimum width of five feet, except for sidewalks abutting parking spaces as discussed in the parking section.
- Pedestrian walkways shall be separated from buildings with a minimum 5-foot wide landscape strip.
- Upon approval from City of Reno staff, the developer shall fund and construct a new crosswalk and push button activated flashing beacons at or near the intersection of Mountain View Drive and Lakeside Drive prior to issuance of a Certificate of Occupancy for this alternative. Specific location shall be approved by the City of Reno Public Works Department. All improvements shall comply with City of Reno requirements and the latest Edition of the Manual on Uniform Traffic Control Devices.
- Vehicle access and circulation shall comply with the MF-30 RMC standardsSection 18.12.901, as amended.

Alternative 2: 96-unit Multi-Family Residential Development

Vehicle

- Visitor parking shall be dispersed across the site.
- The multi-family residential development shall take primary access from Mountain View Drive; gated secondary access shall be provided from Beck Street.
- Gates that will be remotely controlled by residents will be installed at the primary access from Mountain View and at the secondary access from Beck Street. The Beck Street entrance gate shall physically separate the development and the parking lot for the 44-unit affordable housing development. The gates shall be locked with a Knox box or other form of lock, as approved by the Reno Fire Department.

- Vehicle access and circulation on site shall comply with the MF-30 RMC Standards [Section 18.04.601](#).

Pedestrian

- Walkways shall provide safe and logical pathways between buildings, the public right-of-way and parking areas.
- A minimum 5-foot wide sidewalk shall be provided along Mountain View Drive and shall connect the sidewalk along the site frontage to the main entrance of the development.
- Internal sidewalks shall have a minimum width of five feet, except for sidewalks abutting parking spaces as discussed in the parking section.
- Upon approval from City of Reno staff, the developer shall fund and construct a new crosswalk and push button activated flashing beacons at or near the intersection of Mountain View Drive and Lakeside Drive prior to issuance of a Certificate of Occupancy for this alternative. Specific location shall be approved by the City of Reno Public Works Department. All improvements shall comply with City of Reno requirements and the latest Edition of the Manual on Uniform Traffic Control Devices.
- Vehicle access and circulation shall comply with the MF-30 RMC standards. [Section 18.04.601](#).

Parking

- Minimum Parking Rate
 - 32-bed Memory Care: 0.675 spaces per bed.
 - 82-bed Assisted Living: 0.675 spaces per bed.
 - 96-unit Multi-Family Residential Development: 1 space per bedroom-unit.
 - ADA—Accessible Parking: Per MF-30 RMC Standards 18.12.1102, as amended 18.04.705(b).
- Minimum Standard Parking Dimension: 9' x 18'
 - Parking spaces can be reduced in size to 9' x 17' in order to accommodate Low Impact Development (LID) design features. Up to 20 compact spaces measuring 8' x 16' may be utilized.
 - Maximum allowable vehicle overhang shall be 2 feet.
 - In no case shall the usable sidewalk width be less than 5 feet. Thus, where vehicles are allowed to overhang a sidewalk, the minimum sidewalk width shall be 7 feet wide.
- Minimum Accessible Parking Dimensions:
 - Option 1: All accessible parking spaces shall be a minimum of eight (8) feet wide, with an adjacent access aisle with a minimum width of five which may be placed between two accessible spaces to serve both spaces.
 - Van accessible spaces shall be a minimum of eight wide, with an adjacent access aisle which is a minimum of eight feet wide which may also be placed between two van accessible spaces to serve both spaces.
 - Option 2: All accessible parking spaces shall be a minimum of 11 feet wide with an adjacent access aisle with a minimum width of five feet, which may be placed between two accessible parking spaces, to serve both spaces. See MF-30 RMC standards [Figure 4-4 in](#)

RMC 18.04.705-18.12-19.

- All other ~~ADA-Accessible~~ parking standards for signage, slope, path of travel, etc. shall be found in MF-30 RMC standards 18.04.705 (b) as amended 12.1102, as amended.
- Wheel stops are allowed at the discretion of the developer. Curb bumpers are not allowed.
- All standards related to parking lot design not mentioned within this section shall follow the standards in MF-30 RMC as amended 18.04.705 12.1104, as amended.
- No parking shall be permitted on Mountain View Drive. No parking signs shall be installed and curbs along the project frontage shall be painted red prior to the issuance of a certificate of occupancy.
- Bicycle parking areas will be added to the plan as per RMC standards.
- One parking space per unit will have covered parking. See Page xx for design details. (to be added)

Landscaping and Screening**Alternative 1: 32 bed Memory Care and 82 bed Assisted Living**

- Minimum Landscape Area: 20% of the gross site area.
- Surface parking lots shall incorporate a minimum of 25 square feet of landscaped area for each required off-street parking space. This shall be included in the overall calculation of required landscape.
- A minimum 20' wide landscape strip with a 3-foot tall earth berm shall be located along Mountain View Drive. A minimum of 5 large canopy shade trees (minimum 2.5-inch caliper for evergreen and minimum 10 feet in heights for evergreen) and 9 flowering accent trees shall be planted within the landscape strip. A minimum of 6 large shrubs (minimum 5 gallon) shall be provided per required tree. All required trees and shrubs shall be planted to effectively screen the parking lot upon planting.
- Parking lots and sidewalks shall be separated from buildings by a minimum 5-foot wide landscape strip with a minimum of one tree planted at a ratio of 30 feet on center.
- A 9-foot landscape strip shall be provided along the eastern property line adjacent to the employee parking. This strip shall be used as a Low Impact Development (LID) feature. The landscape strip shall accommodate a landscape swale to capture parking lot runoff.
- Large evergreen trees (minimum 10 feet in height) shall be planted in the landscape area abutting the single-family residential property to the northwest. They shall be spaced no more than 15-feet apart.
- Beyond the single-family residential property, large evergreen trees (minimum 10 feet in height) shall be planted on the west property line and placed every 20 feet on center.
- Required Trees: 93
 - A minimum of 70% shall be large (minimum 2.5-inch caliper for deciduous; minimum 10 feet in height for evergreen trees).
 - 50% of the trees shall be evergreen trees.
- Required Shrubs: 558

Alternative 2: 96-unit Multi-Family Residential Development

- Minimum Landscape Area: 20% of the gross site area.
 - Surface parking lots shall incorporate a minimum of 25 square feet of landscaped area for each required off-street parking space. This shall be included in the overall calculation of required landscape.
 - A minimum 12' wide landscape strip shall be located along Mountain View Drive. A minimum of 5 large canopy shade trees (minimum 2.5-inch caliper for evergreen and minimum 10 feet in heights for evergreen) and 9 flowering accent trees shall be planted within the landscape strip. A minimum of 6 large shrubs (minimum 5 gallon) shall be provided per required tree. All required trees and shrubs shall be planted to effectively screen the parking lot upon planting.
 - A 9-foot landscape strip shall be provided along the eastern property line. This strip shall be used as a Low Impact Development (LID) feature. The landscape strip shall accommodate a landscape swale to capture parking lot runoff.
 - Large evergreen trees (minimum 10 feet in height) shall be planted in the landscape area abutting the single-family residential property to the northwest. They shall be spaced no more than 15-feet apart.
 - Beyond the single-family residential property, large evergreen trees (minimum 10 feet in height) shall be planted on the west property line and placed every 20 feet on center.
 - Landscape plans shall include a plan to preserve as many existing trees as possible.
-
- Required Trees: 93
 - A minimum of 70% shall be large (minimum 2.5-inch caliper for deciduous; minimum 10 feet in height for evergreen trees).
 - 50% of the trees shall be evergreen trees.
 - Required Shrubs: 558

Site Lighting

All site lighting for the 32 bed Memory Care/82 bed Assisted Living Facility or the 96-unit Multi-Family Residential Development will be consistent with the design standards set forth in the PUD Handbook on Page 142.

Walls and Fences

- All walls and fences for the 32 bed Memory Care/82 bed Assisted Living Facility or the 96-unit Multi-Family Residential Development will be consistent with the design standards set forth in the PUD Handbook on Page 124.
- A 6' tall solid wood fence with metal posts shall be constructed on top of the retaining wall, adjacent to the single-family home on the northwest corner.
- —

Site Grading and Retaining Walls

- All site grading and retaining walls for the 32 bed Memory Care/82 bed Assisted Living Facility will be consistent with the design standards set forth in the PUD Handbook on Page 134, except as follows.
- A Retaining walls shall be installed on the north property line west of the entrance from Mountain View Drive and south of the single-family properties on the east side, the east property line and west property line. northwest property line, adjacent to the single family home.
- Retaining walls shall not exceed 10 feet in height.

Signage

Alternative 1: 32 bed Memory Care and 82 bed Assisted Living

- All signage for the 32 bed Memory Care/82 bed Assisted Living Facility will be consistent with the design standards set forth in the PUD handbook on Page 186.

Alternative 2: 96-unit Multi-Family Residential Development

- Signs for the 96-unit multi-family residential development shall be designed to identify facilities for passing motorists while remaining unobtrusive to surrounding areas. All signs shall be consistent with site architecture and a contemporary interpretation of Craftsman and Rustic themes. Sign plans shall be reviewed and approved by the administrator prior to the issuance of the first building permit.

Monument Sign

- One indirectly illuminated monument sign, 6 feet maximum in height and 60 square feet maximum in size, shall be located such that it will allow identification of the development at the entrance on Mountain View Drive. The sign shall be located to the approval of the administrator and shall be consistent with the sign design character of a contemporary interpretation of Craftsman and Rustic themes.

Address Signs

- Individual building and unit address signs shall be installed on each structure to the satisfaction of the Reno Fire Department, prior to the issuance of a certificate of occupancy for the structure.
- Address signs shall be clearly visible to visitors and delivery person.

Entitlement Process

- Architectural and Civil improvement drawings must be submitted and approved prior to issuance of any permit for the project. These drawings must be in substantial compliance with the site plan, landscape plan, and architectural plans contained in this PUD handbook.
- The gate separating the visitor and employee parking lots or the two residential developments shall be approved by the Reno Fire Department and installed prior to the certificate of occupancy.
- Building permits are required for each new structure subject to the approval of the Zoning Administrator and/or his designee.

Infrastructure

Sanitary Sewer

Sanitary sewer will be serviced by the City of Reno. The design peak flow for the proposed property is computed using 650 gallons per day per room (peak flow) for the 32 bed Memory Care/82 bed Assisted Living Facility. For the 96-unit Multi-Family Residential Development use, a sanitary sewer report per the City of Reno Standards will be submitted to confirm adequate capacity exists and identify any additional requirements prior to obtaining a building permit. Existing public sanitary sewer lines exist in both Mountain View Drive/Audubon Way and Beck Street. The 8" sewer line in Mountain View ties into an existing system within Lakeside Drive. The 8" sewer line in Beck Street also ties into Lakeside Drive. The development will tie into either the sewer line in Mountain View Drive or into the sewer line located in Beck Street, which is being extended to the adjacent multi-family development. Sewer service for all properties who tie into sewer lines traversing the subject site shall be maintained or improved.

Storm Drainage

There are existing catch basins and associated storm drain manholes in both Mountain View Drive and Beck Street. The Beck Street catch basin ties into a system that runs along property lines further east of the PUD and the outfall is in Virginia Lake. The projects drainage system design will perpetuate existing flow patterns and retain the increase in flow in the proposed detention basin located at the far southeast corner of the PUD.

Gas and Electric

Gas and electrical connections shall be coordinated with NV Energy. Specific sizing and locations will be determined during final design and prior to submittal of a building permit.

Water

There project will tie into the existing 12' water line in Mountain View Drive or tie into the TMWA water line connection from Beck Street.

Maintenance Requirements

Prior to approval of the first building permit, the applicant/developer shall provide appropriate documentation that CC&R's specific to the project are recorded with the Washoe County Recorder's office to insure and enforce maintenance of all site landscaping, building exteriors, roofing, on site drainage improvements and site lighting. This association shall remain in force and effect throughout the lifetime of this project.

BUILDING DESIGN/ARCHITECTURE

Architecture

Alternative 1: 32 bed Memory Care and 82 bed Assisted Living

Specific architectural elements include tapered columns that are short and rest upon stone piers, warm earth tone colors, a mix of materials that includes stone, brick, roof shingles, stucco and wall siding. Building elevations should be consistent with Figures 9 & 10 and include the following elements:

- Warm earth tones, including greys, blues and white shall be used for the primary surface color.
- Colors and materials of roofs and facades shall be consistent throughout.
- Acceptable materials include cement siding, stucco, stained wood finish, metal finish, stone veneer, brick, glass, exterior cement plaster, and composition panels.
- Architectural features shall include a porte cochère, gabled pop-outs, wood beams, stone/brick façade, and a pitched roofline, per Pages ~~4236~~ and ~~4337~~.
- Articulation standards as required in MF-30 RMC standards as amended 18.12.301(a), 04.903(e)(3) as amended, shall be met on all four sides of the building.

Alternative 2: 96-unit Multi-Family Residential Development

Alternative 2: 96-unit Multi-Family Residential Development

The project is characterized as having a contemporary interpretation of Craftsman and Rustic style theme. Architectural elements include cornice overhang on tower elements, decorative shutter details, decorative brace and corbels, and flat roof parapet line with offsetting modern architectural elements.

- All project elements shall be designed with compatible or common architectural features, styles and materials, per Figures 14 thru 17.
- Auxiliary structures such as trash enclosures shall be integrated into the overall design theme through materials and color.
- All project buildings shall be compatible in mass, height, material, and color and incorporate common design elements such as landscaping, signage and lighting.
- Consistent window treatments/fenestration shall be incorporated on all project buildings to enhance the architectural quality of the structure.
- Light tone colors shall be used for the primary surface color.
- Accent, color can be used for window frames, doors, trim, rafter tails, and details but shall

not be used for the primary building color.

- Colors and materials of roofs and facades facing a public street or primary parking area shall be, with possible upgrades, such as stone veneer walls on buildings facing Mountain View Drive.
- Acceptable materials include decorative block, brick, wood, simulated wood, glass, exterior cement plaster, cement composition siding, and metal that will achieve the requirement of a contemporary interpretation of Craftsman and Rustic architectural style theme.
- Acceptable secondary colors include shades blues, greys, greens, reds, commensurate within the color palette.
- Acceptable accent colors include off whites and exposed natural material including stained woods, and non-reflective metals.
- Communication equipment shall be either screened or designed to match the surrounding building in color and or material.
- Drainage equipment must be visually integrated into the building design as an enhancement or accent.

Roofs and Rooftop Screening

Roofs and rooftop screening standards facilitate attractive, unobtrusive views of roofs from neighboring properties. Roof standards promote visual continuity by establishing compatible materials and colors for the project.

- ~~Mechanical equipment, such as air conditioning and heating units, shall be placed on rooftops, with sufficient roof parapet to screen the units from public view in accordance with city code, as amended.~~ All mechanical equipment such as air conditioning and heating units shall be either ground mounted and visually screened or rooftop mounted and visually screened in accordance with city code.
- The design character of rooftop screening shall be compatible with similar materials, form and color as that of the building below.
- Drainage equipment must be visually integrated into the building design as an enhancement or accent.
- Roof materials ~~shall may~~ include asphalt roof shingles, TPO, or combination thereof.
- Roof forms shall be articulated using gables, hips, clerestories or dormers to break up continuous planes.
- Photovoltaic solar panels may be mounted to roof areas in an “integrated” manner. Photovoltaic panels shall be arranged to meet both Fire Department, efficiency, and non-glare conditions.
-

Trash Enclosure

- Trash receptacles must be located outside of the building setbacks and to the side or rear of the

building, out of public view from Mountain View Drive. Trash enclosures shall be screened using a solid wall constructed of building material that is architecturally compatible with the building. Wall materials shall be designed with ~~warm earth tone colors, and~~colors and comprised of a mix of materials that includes stone, stucco and siding materials that are consistent with other buildings in the project.

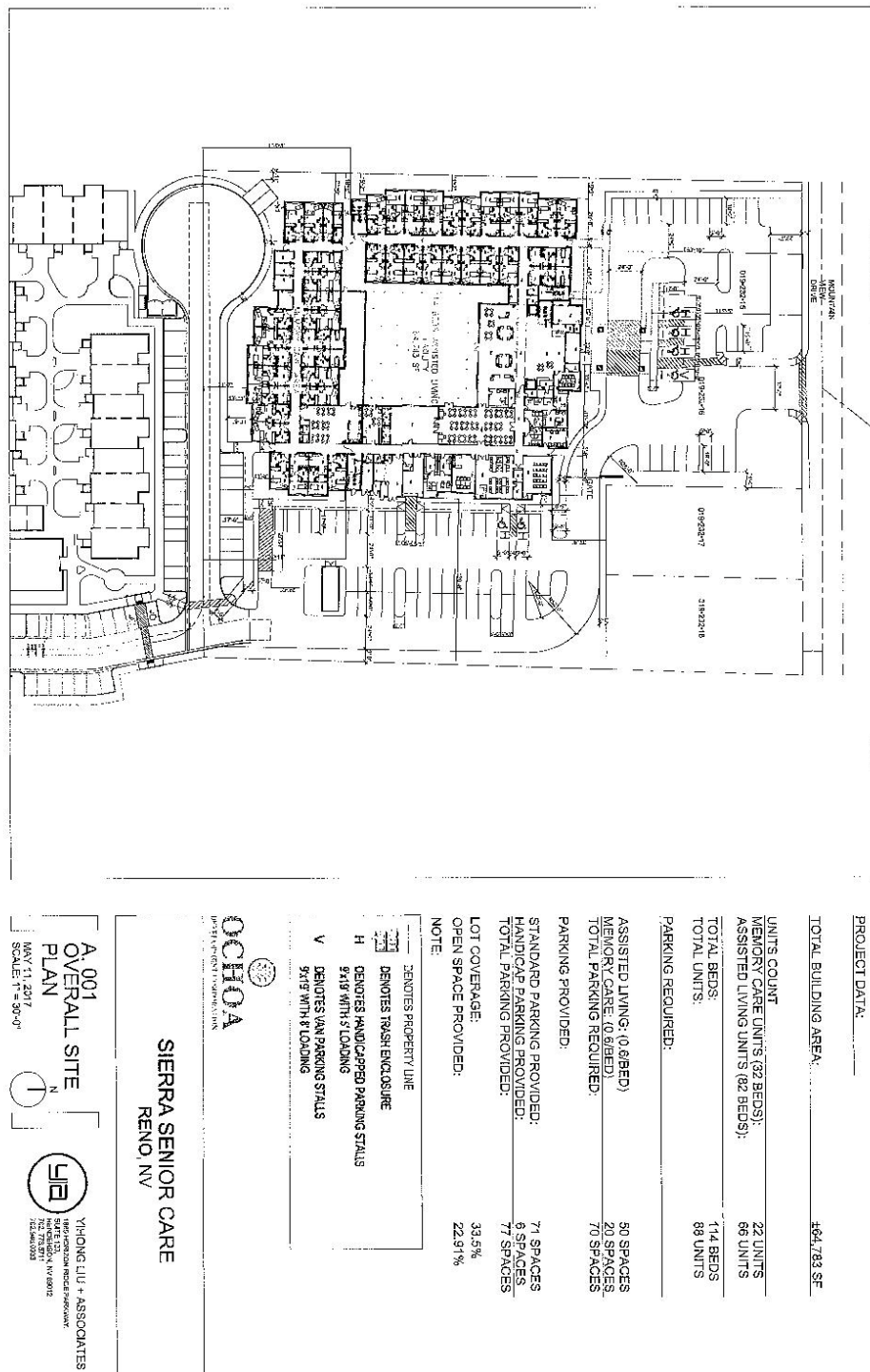


FIGURE 6 – 32 BED MEMORY CARE/82 BED ASSISTED LIVING SITE PLAN

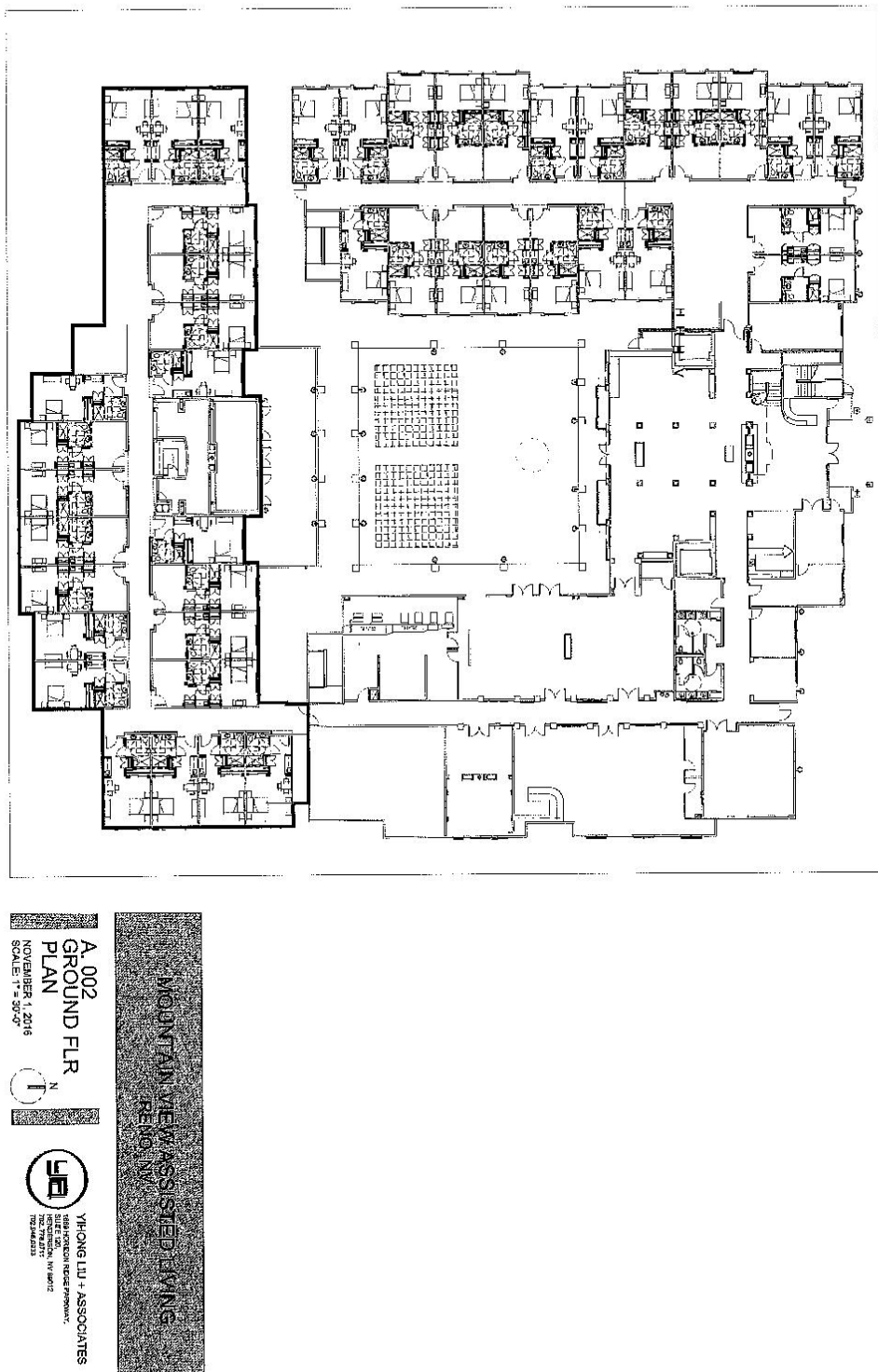
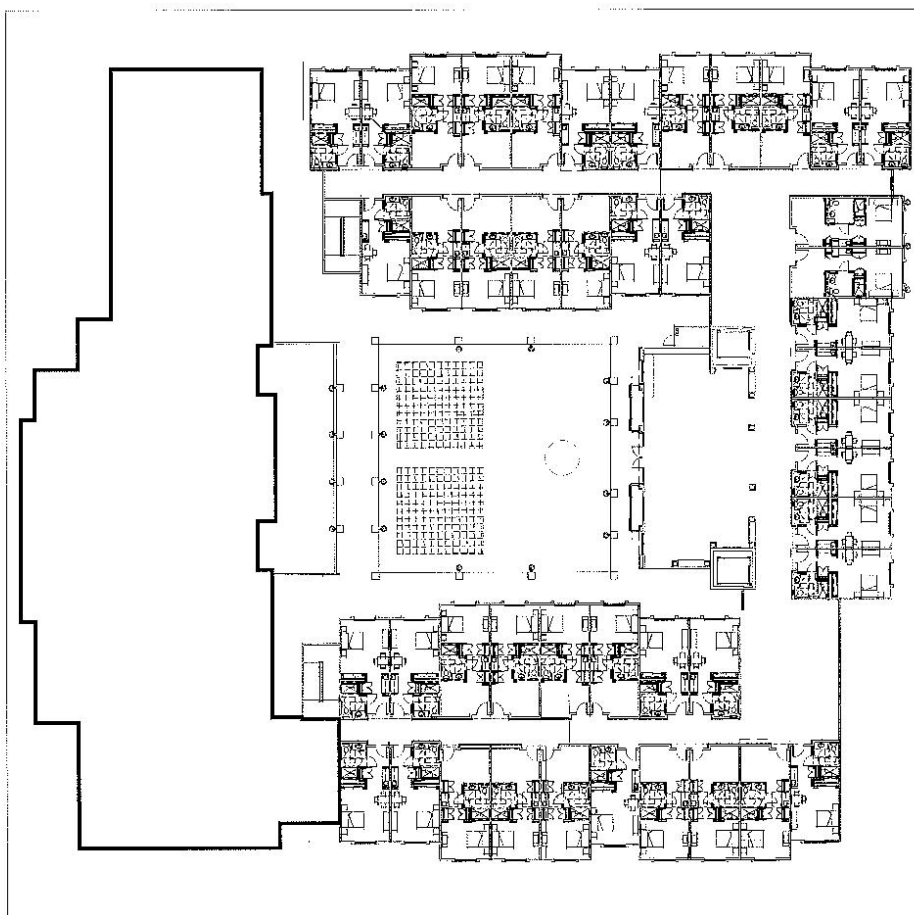


FIGURE 7 – 32 BED MEMORY CARE/82 BED ASSISTED LIVING GROUND FLOOR PLAN



**MOUNTAIN VIEW ASSISTED LIVING
RENOVATION**

**A.003
SECOND FLR
PLAN**

NOVEMBER 1, 2016
SCALE: 1" = 30'-0"

YIHONG LIU + ASSOCIATES
ARCHITECTS
2000 LEXINGTON AVENUE, SUITE 1000
NEW YORK, NY 10017
773.944.1223

FIGURE 8 – 32 BED MEMORY CARE/82 BED ASSISTED LIVING GROUND 2ND FLOOR PLAN

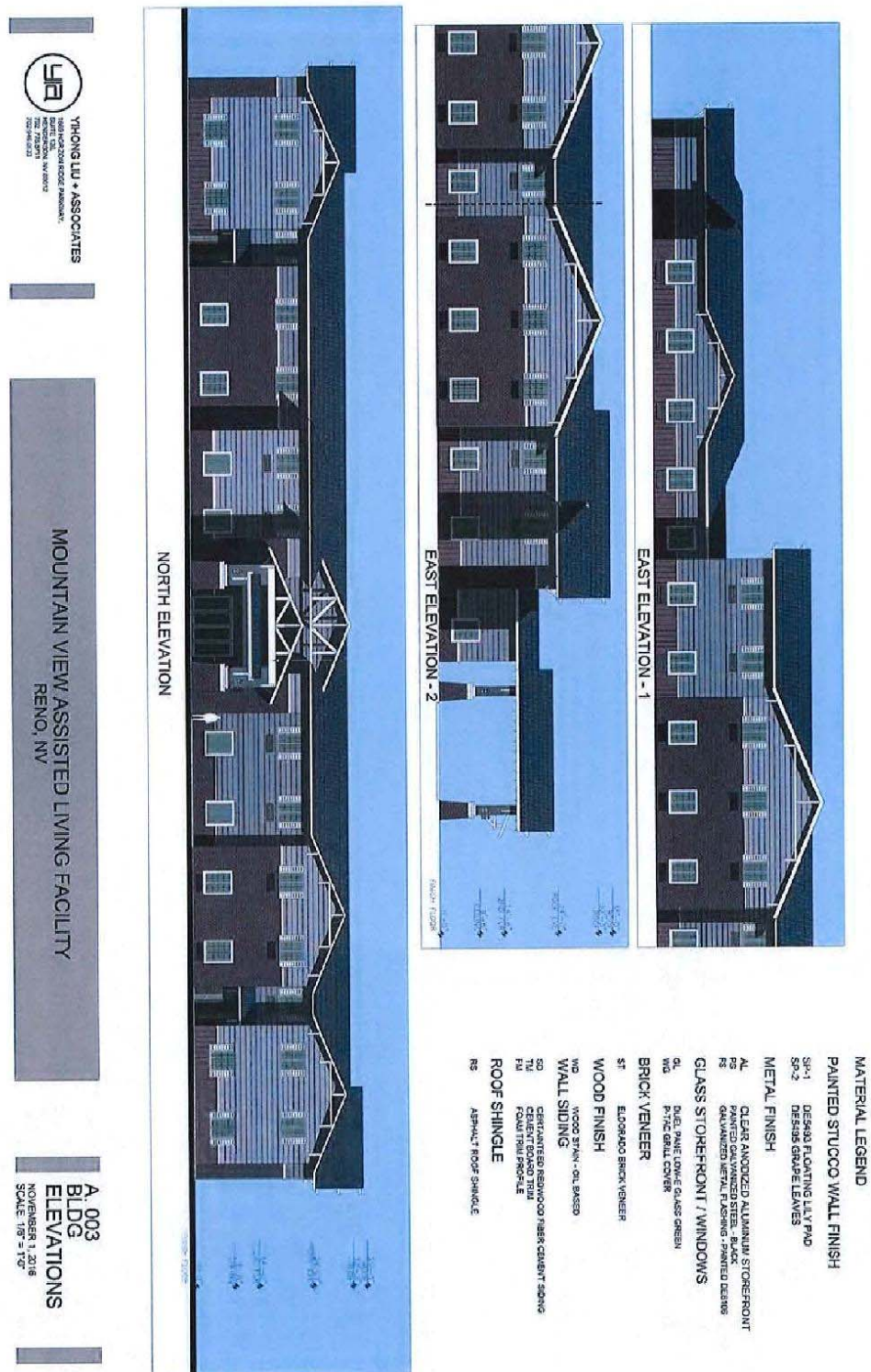


FIGURE 9 – 32 BED MEMORY CARE/82 BED ASSISTED LIVING BUILDING ELEVATIONS

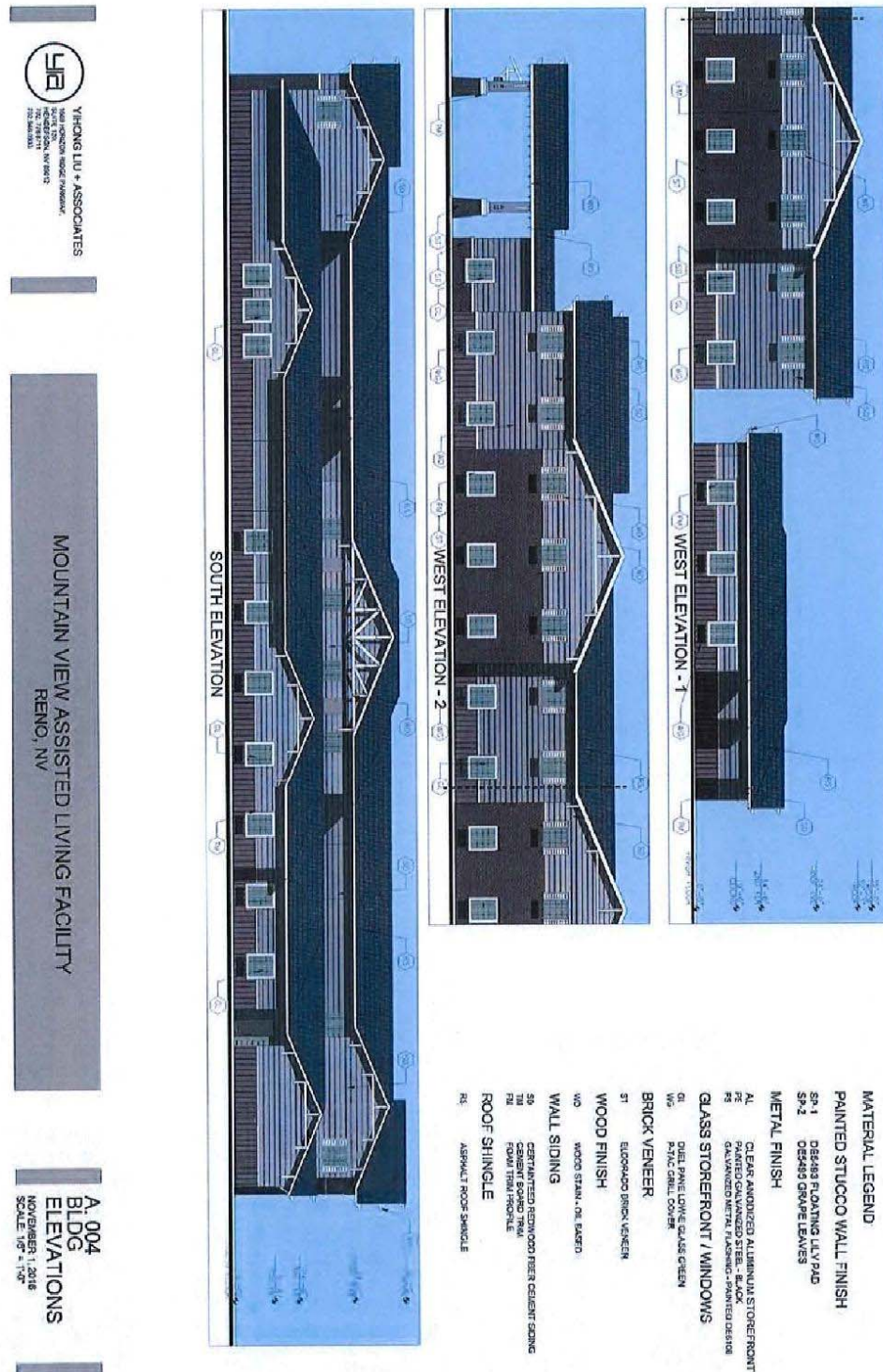


FIGURE 10 – 32 BED MEMORY CARE/82 BED ASSISTED LIVING BUILDING ELEVATIONS



FIGURE 11 – 32 BED MEMORY CARE/82 BED ASSISTED LIVING LANDSCAPE PLAN

[illegible]

OCHOA
DEVELOPING COMMUNITIES



YIHONG LIU + ASSOCIATES
SUITE 223
559 HORIZON RIDGE PARKWAY,
HENERSON, NY 35012
726.778.871
726.346.0033

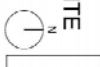
44

1000

[illegible]

PROJECT NAME:	APRIL 2017
SITE AREA:	3.17 AC
LAND COVER:	PD
UNIT'S COUNT	30 UNITS
ONE BEDROOM:	24 UNITS
TWO BEDROOM:	6 UNITS
TOTAL UNITS:	30 UNITS
PARKING REQUIRED:	30 SPACES
STUDIO (1 UNIT):	42 SPACES
TWO BEDROOM (1 UNIT):	42 SPACES
TOTAL REQUIRED:	84 SPACES
PARKING PROVIDED:	84 SPACES
STANDARD PARKING PROVIDED:	79 SPACES
STANDARD PARKING REQUIRED:	79 SPACES
TOTAL PARKING PROVIDED:	147 SPACES
BIKE PARKING SPACES:	10 SPACES
OPEN SPACE REQUIRED:	5,697 SF
OPEN SPACE PROVIDED:	11,463 SF
LOT COVERAGE:	33.5%
ADJACENT AREA PROVIDED:	22.4%

A.001
OVERALL SITE
PLAN
MAY 11, 2017
SCALE: 1" = 30'-0"



YIHONG LIU + ASSOCIATES
1000 HORIZON PICOE PARKWAY,
SUITE 120,
HERNDEN, NV 89121
702.778.8711
702.846.0003

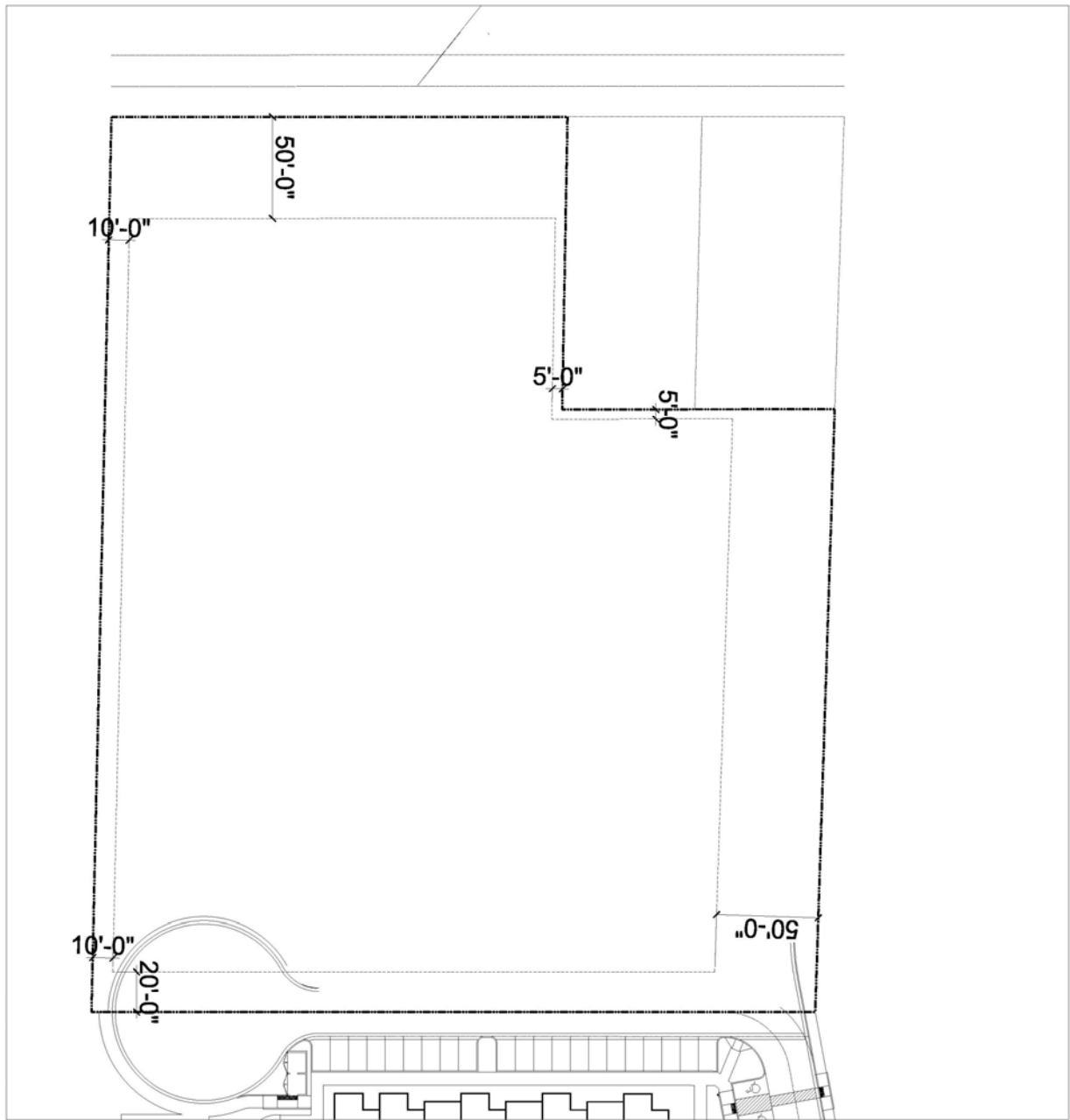


FIGURE 13 – 96-UNIT MULTI-FAMILY RESIDENTIAL DEVELOPMENT SETBACK PLAN

FIGURE 14 – 96-UNIT MULTI-FAMILY RESIDENTIAL DEVELOPMENT BUILDING ELEVATIONS 1

CONSULTING DESIGN ARCHITECT
GREENE TINDALL DESIGN
3947 ASPEN SPRINGS RD. SUITE 500
LAS VEGAS, NEVADA 89120
CONTACT: LARRY TINDALL
PHONE: (702) 567-6697
EMAIL: larry@tindallpc.com

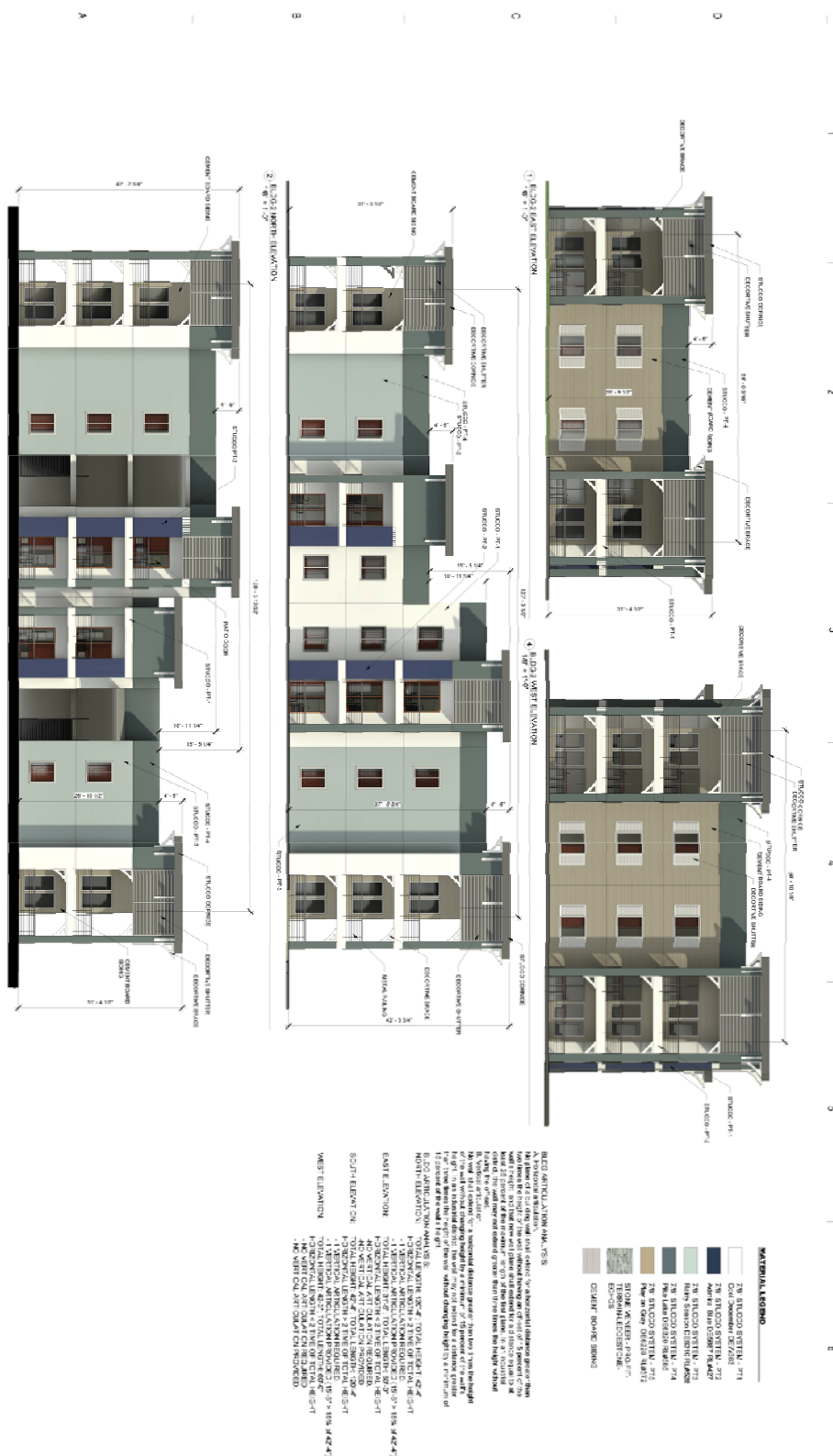
MOUNTAIN VIEW APARTMENT

Reno, NV

A202
BLDG-2 ELEVATIONS
06/17/22
SCALE As indicated



OCHOA
DEVELOPMENT CORPORATION



48

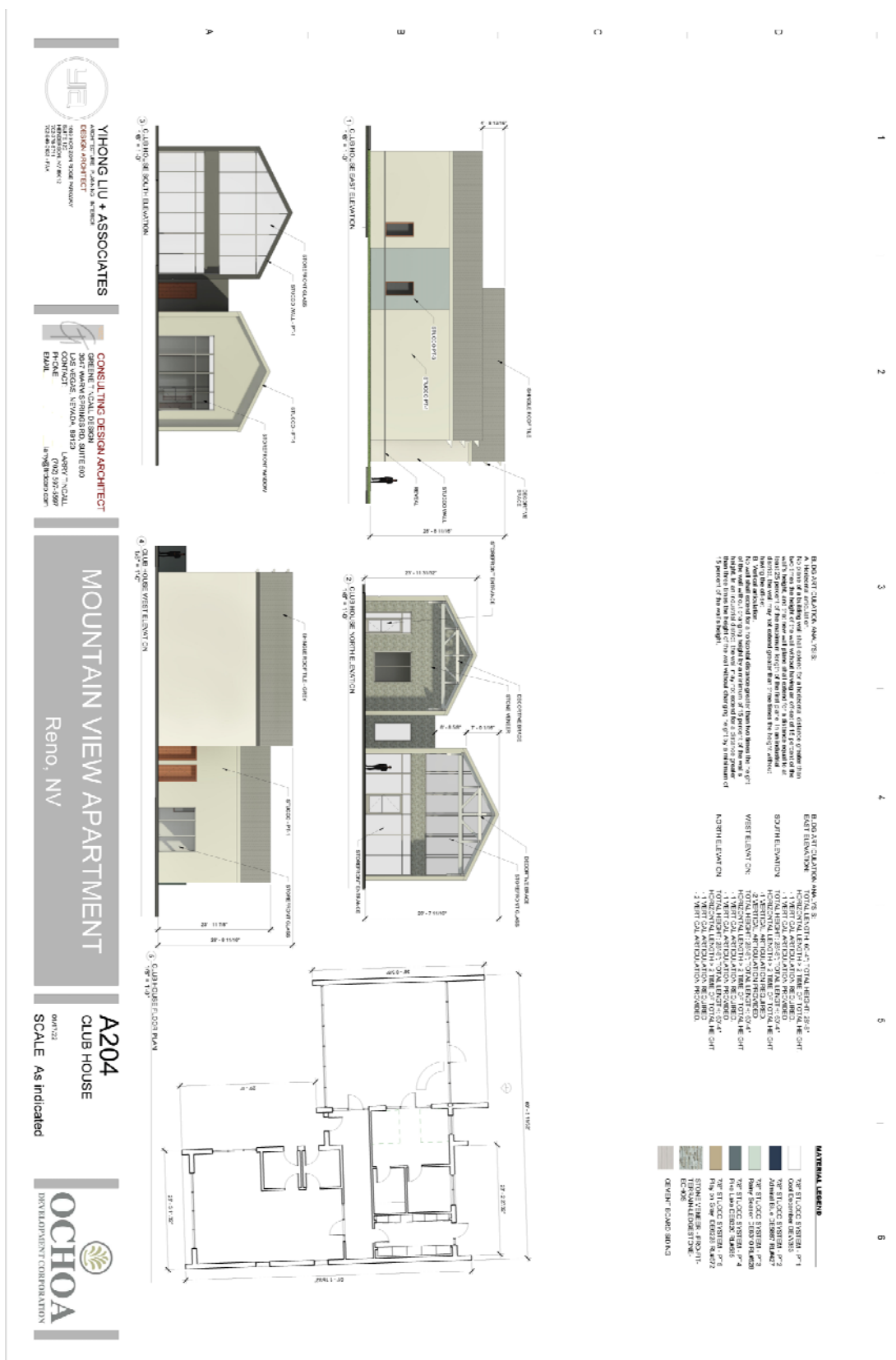




FIGURE 18 – 96-UNIT MULTI-FAMILY RESIDENTIAL DEVELOPMENT LANDSCAPE PLAN
UPDATE WITH LATEST PLAN

APPENDIX A – Site Design

- Site Plan
- Landscape Plan
- Civil Plans
 - ◆ Title Sheet
 - ◆ Preliminary Site Plan
 - ◆ Preliminary Grading/Utilities
 - ◆ Preliminary Cross Sections

A full size and to scale drawing for each sheet referenced above in this Appendix A is contained in the case file for LDC11-00017 in the Community Development Department.

APPENDIX B – Memory Care Elevations

- Black and White Building Elevations – Memory Care Building
- Colored Building Elevations - Memory Care Building

Note: All other buildings within the project shall be constructed consistent with the architectural style, colors and materials as the memory care building.

A full size and to scale drawing for each sheet referenced above in this Appendix B is contained in the case file for LDC11-00017 in the Community Development Department.

APPENDIX C – Traffic and Parking Analysis

- Traffic Analysis
- Parking Analysis

APPENDIX D – Approval Letters and Exhibits

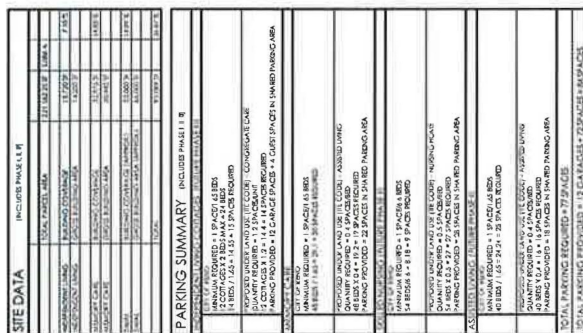
- Exhibit A – Conditions
- Exhibit D – Required Memory Care Services
- City Clerks Letter RE: Approval of Case No. LDC11-00017 (Sierra Senior Care)
- City Clerks Letter RE: Certification of PUD Handbook, LDC11-00017
- City Clerks Letter RE: Adoption of Ordinance No. 6172, LDC11-00017
- Copy of Ordinance No. 6172, LDC11-00017
- City Clerks Letter RE: Approval of Case No. LDC15-00029
- City Clerks Letter RE: Adoption of Ordinance No. 6362, LDC15-00029
- Copy of Ordinance No. 6362, LDC15-00029
- City Clerks Letter RE: Certification of PUD Handbook, LDC15-00029
- City Clerks Letter RE: Approval of Case No. LDC17-00049
- City Clerks Letter RE: Adoption of Ordinance No. 6437
- City Clerks Letter RE: Certification of PUD Handbook

APPENDIX A – Site Design

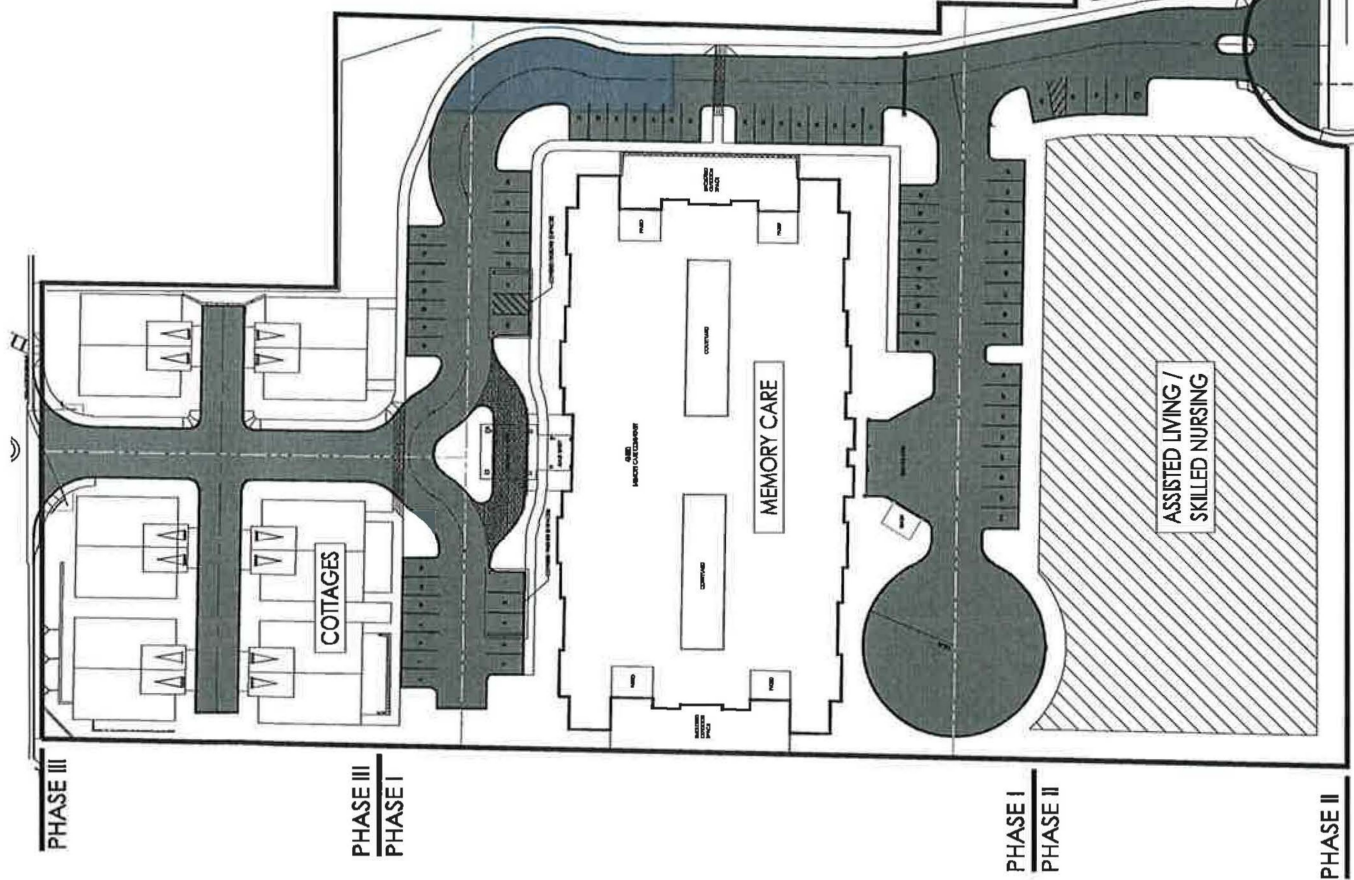
- Site Plan
- Landscape Plan
- Civil Plans
 - ◆ Title Sheet
 - ◆ Preliminary Site Plan
 - ◆ Preliminary Grading/Utilities
 - ◆ Preliminary Cross Sections

A full size and to scale drawing for each sheet referenced above in this Appendix A is contained in the case file for LDC11-00017 in the Community Development Department.

SUMMER - JULY 21st



SCHEMATIC MASTER PLAN
SCALE 1"=60'



PLANT LEGEND



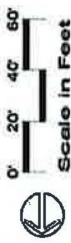
NOTE: SPECIFIC TREE TYPE/PLACEMENT MAY VARY DURING DEVELOPMENT OF FINAL CONSTRUCTION DOCUMENTS.

LANDSCAPE DATA

SITE AREA: 221,050 SF (5.066 ACRES)
 ZONING: PLD - PLANNED UNIT DEVELOPMENT
 LANDSCAPE AREA: 44,379 SF (0.1% OF TOTAL SITE AREA)
 TREES PROVIDED: 140
 17 TREES PER 300 SQ. FT. UP TO 12' IN AREA, EXCLUDING PARKING/ANCA
 MAXIMUM SHRUBS PROVIDED: 100 (8 PER 100 SQ. FT. UP TO 12' IN AREA)
 MAXIMUM TURF AREA ALLOWED: 22,156 SF (0.1% OF LANDSCAPED AREA)

WATER REGIME

- 1) ALL PLANTING AND IRRIGATION SHALL BE INSTALLED PER LOCAL GOVERNING CODES.
- 2) ALL LANDSCAPING WILL BE AUTOMATICALLY IRRIGATED UNLESS NOTED OTHERWISE ON THE PLAN. TURF GRASS WILL BE IRRIGATED USING LOW ANGLE SPRAY, ROTARY, AND/OR IMPACT HEADS TO REDUCE WIND DRIFT. CONTAINER PLANTINGS WILL BE DRIP IRRIGATED BASED ON THE SPECIFIC HORTICULTURAL REQUIREMENTS OF EACH SPECIES. THE IRRIGATION SYSTEM WILL BE DESIGNED TO ALLOW FULL IRRIGATION OF THE SITE ON A THREE-DAY-A-WEEK WATERING REGIME. A REDUCED PRESSURE TYPE BACKFLOW PREVENTOR WILL BE PROVIDED ON THE IRRIGATION SYSTEM AS REQUIRED PER CODE.



EXISTING DOG PARK



SIERRA SENIOR CARE
 A-2

Preliminary Landscape Plan

NO.	REVISION	DATE
1	REVISION	DATE
2	REVISION	DATE
3	REVISION	DATE
4	REVISION	DATE
5	REVISION	DATE
6	REVISION	DATE
7	REVISION	DATE
8	REVISION	DATE
9	REVISION	DATE
10	REVISION	DATE

Hansen Landscape Architects
 10000 1st Avenue, Suite 100
 San Diego, CA 92121
 (619) 594-1100
 www.hansenlandscape.com

Project Name: Sierra Senior Care
 Project Location: 10000 1st Avenue, Suite 100
 Project Number: A-2

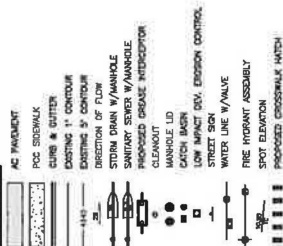
Project Name: Sierra Senior Care
 Project Location: 10000 1st Avenue, Suite 100
 Project Number: A-2

Project Name: Sierra Senior Care
 Project Location: 10000 1st Avenue, Suite 100
 Project Number: A-2

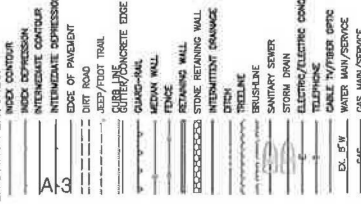
SIERRA SENIOR CARE

PRELIMINARY CIVIL IMPROVEMENT PLANS

LEGEND:



EXISTING FEATURES:

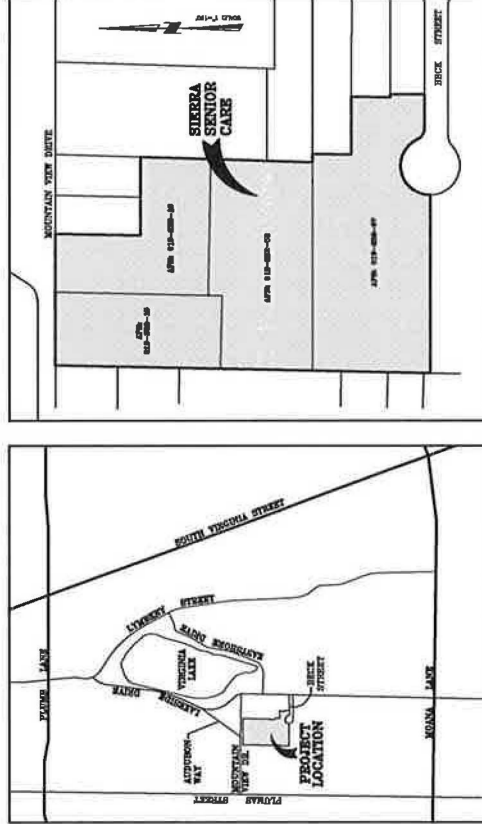


ABBREVIATIONS:

ABA	AIR RELEASE ASSEMBLY
BS	BACK OF STOPS
BSW	BOTTOM OF SIDEWALK
CL	CENTER LINE
DIA. #	DIAMETER
ELEV	ELEVATION
ITS	EXISTING GROUND ELEVATION
ELEC	ELECTRIC
EP	EDGE OF PAVEMENT
ESC	EXISTING BACK OF SIDEWALK
ETC	EXISTING TOP OF CURB ELEVATION
EX. (C)	EXISTING CURB ELEVATION
FP	FINISH FLOOR ELEVATION
FG	FINISH GRADE ELEVATION
FL	FLOW LINE
FES	FLARED END SECTION
PVA	FLUSH VALVE ASSEMBLY
NW	NEIGHBOR
IE	INVERT ELEVATION
LF	LINEAR FEET
PL	PROPERTY LINE
RI	RIGHT OF WAY
SD	STORM DRAIN
SMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
TC	TOP OF CURB
TD	TOP OF DRAIN
TEL	TELEPHONE
TPP	TYPICAL
VC	VALLEY CUTTER
W	WATER
TW (SCHEDULE)	TOP OF SIDEWALK WALL
TW (RET.)	TOP OF RETAINING WALL
BW	BOTTOM OF WALL

CAUTION NOTICE

THE HORIZONTAL, VERTICAL, AND UTILITY LOCATIONS OF EXISTING UTILITIES AND FEATURES (I.E., BUILDINGS, STREETS, WALLS, ETC.) SHOWN ON THESE PLANS ARE BASED ON THE RECORD PLANS AVAILABLE TO THE ENGINEER. THE UTILITY LOCATIONS SHOWN ON THESE PLANS ARE NOT GUARANTEED TO BE AN ACCURATE REPRESENTATION OF EXISTING CONDITIONS IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES AND FEATURES SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDS FROM THE CITY OF RENO, NEVADA, AND THE NEVADA PUBLIC UTILITIES COMMISSION. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES OR FEATURES THAT MAY OCCUR DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDS FROM THE CITY OF RENO, NEVADA, AND THE NEVADA PUBLIC UTILITIES COMMISSION. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES OR FEATURES THAT MAY OCCUR DURING CONSTRUCTION.



VICINITY MAP

OWNER/DEVELOPER
BECK STREET PLAZA, LLC.
2500 CHURCHMAN BLVD.
RENO, NEVADA 89509
(775) 786-7557

CIVIL ENGINEER
C & M ENGINEERING AND DESIGN, LTD.
1000 W. 1ST ST., SUITE B
RENO, NEVADA 89501
(775) 858-3312

ARCHITECTS & PLANNERS
TAYLOR, DUFFIELD & ASSOCIATES
1111 JEFFREY DRIVE, SUITE 110
EL DORADO HILLS, CA 95762
(916) 941-3700

LANDSCAPE ARCHITECT
HARDEN LANDSCAPE ARCHITECTS
SPARKS, NEVADA 89431
(775) 322-8874

GEOTECHNICAL ENGINEER
BLACK EAGLE CONSULTING, INC.
1000 W. 1ST ST., SUITE A
RENO, NV 89501-7148
(775) 359-8800

ENLARGEMENT

SHEET INDEX:

- C1 TITLE SHEET
- C2 PRELIMINARY SITE PLAN
- C3 PRELIMINARY GRADING/UTILITY
- C4 PRELIMINARY CROSS SECTIONS

TITLE SHEET

SIERRA SENIOR CARE

CITY OF RENO

PROJECT NO. 12-100-001

DATE: 12/12/12

BY: [Signature]

DATE: 12/12/12

PROJECT NO. 12-100-001

DATE: 12/12/12

BY: [Signature]

DATE: 12/12/12

PROJECT NO. 12-100-001

DATE: 12/12/12

BY: [Signature]

DATE: 12/12/12

PROJECT NO. 12-100-001

DATE: 12/12/12

BY: [Signature]

DATE: 12/12/12

- ◆ EXISTING PROPERTY LINE - TO BE REVISED PER BOUNDARY LINE ADJUSTMENT TO PROPOSED PROPERTY LINE PER BOUNDARY LINE ADJUSTMENT SUBMITTED 10/20/10
- ◆ PROPOSED PROPERTY LINE PER BOUNDARY LINE ADJUSTMENT SUBMITTED 10/20/10
- ◆ ALL BEARINGS S 10°10'15" W UNLESS OTHERWISE NOTED
- ◆ LANGUAGE AREA - SEE PLANS PREPARED BY HANSEN ARCHITECTS
- ◆ ALL CURB RETURNS 3" UNLESS OTHERWISE NOTED
- ◆ DRIVEWAY APRON
- ◆ TRAFFIC CALMING CURB REPLACEMENT

PRELIMINARY LAND USE AREAS

TYPE	#
10' x 10' PARKING STALL	67
10' x 18' ACCESSIBLE	4
GARAGE SPACES	12
TOTAL SPACES	83

MOUNTAIN VIEW DRIVE-TRAFFIC CALMING CIRCLE (30 SCALE)

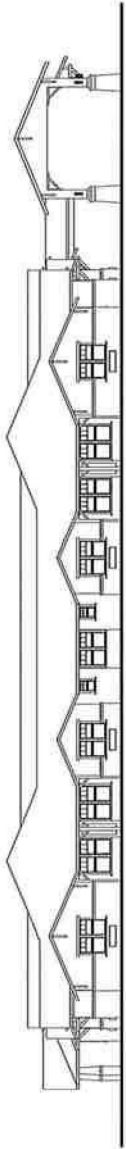


APPENDIX B – Memory Care Elevations

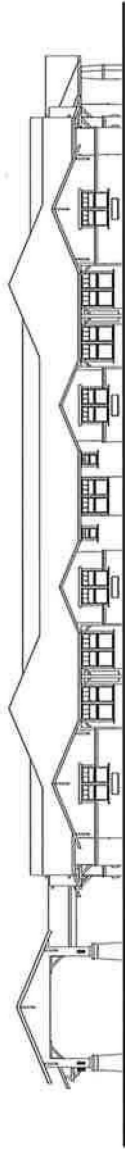
- Black and White Building Elevations – Memory Care Building
- Colored Building Elevations - Memory Care Building

Note: All other buildings within the project shall be constructed consistent with the architectural style, colors and materials as the memory care building.

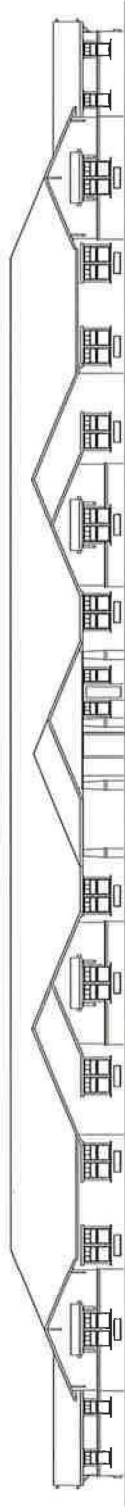
A full size and to scale drawing for each sheet referenced above in this Appendix B is contained in the case file for LDC11-00017 in the Community Development Department.



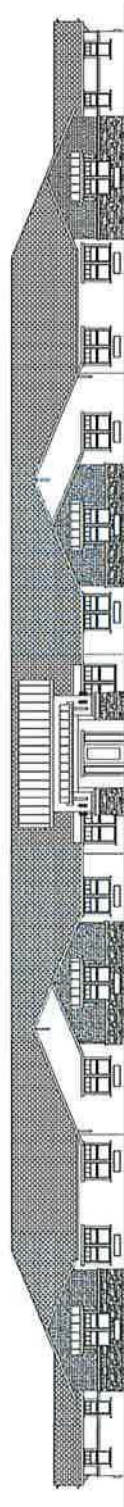
Schematic Left Elevation
1/8"=1'-0"



Schematic Right Elevation
1/8"=1'-0"



Schematic Rear Elevation
1/8"=1'-0"



Schematic Front Elevation
1/8"=1'-0"



1 NORTH ELEVATION
VIEW OF BUILDING LOOKING SOUTH



2 PARTIAL NORTH ELEVATION
VIEW OF BUILDING LOOKING SOUTHEAST



3 PARTIAL WEST ELEVATION
VIEW OF BUILDING LOOKING EAST (EAST ELEVATION SIMILAR)



4 PARTIAL WEST ELEVATION
VIEW OF BUILDING LOOKING NORTHEAST (EAST ELEVATION SIMILAR)

SUPPLEMENTAL SCHEMATIC ELEVATIONS





1 SOUTH ELEVATION
VIEW OF BUILDING LOOKING NORTH



2 PARTIAL SOUTH ELEVATION
VIEW OF BUILDING LOOKING NORTHWEST



3 PARTIAL NORTH ELEVATION
GABLE DETAIL



4 PARTIAL SOUTH ELEVATION
SERVICE DETAIL



4 PARTIAL NORTH ELEVATION
PORTE COCHERE AT BUILDING ENTRY

APPENDIX C – Traffic and Parking Analysis

- Traffic Analysis
- Parking Analysis



Traffic Engineering, Transportation Planning, & Forensic Services

February 9, 2017

Bill Gall
Senior Civil Engineer
City of Reno
1 E. First Street
Reno, NV 89501

Sierra Senior Care PUD - Trip Generation Comparison/Traffic Evaluation

This letter presents an overview of proposed project trip generation, existing traffic volumes on roadways adjacent to the project site, and a basic assessment of potential traffic impacts. The project's trip generation is well below City of Reno thresholds for either a Traffic Entry and Access Study or a Traffic Impact Analysis, therefore this trip generation letter presents the appropriate and commonly accepted level of traffic analysis for this small project.

Proposed Project

Following are updated land uses and quantities proposed in the Sierra Senior Care project:

- 32-bed Memory Care (14 Employees)
- 82-bed Assisted Living (16 Employees)
- 44-unit affordable apartments

Trip Generation

Trip generation rates for the project were obtained using the Trip Generation Manual, 9th Edition, published by the Institute of Transportation Engineers. **Table 1** provides the Daily, AM peak hour, and PM peak hour trip generation calculations for the revised Sierra Senior Care PUD proposal. Table 1 also provides a comparison to previously approved trip generation estimates associated with prior land use mixes in the 2011 and 2015 handbook amendments. Detailed trip generation calculations are provided in **Attachment A**.

Table 1. Trip Generation Comparison by Beds

		Trip Generation by # of Beds							
Land Use	ITE Land Use	Size	Daily	AM Peak			PM Peak		
				Total	In	Out	Total	In	Out
Sierra Senior Care (Proposed)									
Residential	254 - Assisted Living and Memory Care	114 Beds	303	16	6	10	25	15	10
Residential	Affordable Housing - See Attached Rate Information	44 Dwelling Units	194	14	9	5	17	6	11
Proposed Total			497	30	15	15	42	21	21
Sierra Senior Care (Not Approved, 2016)									
Residential	Affordable Housing - See Attached Rate Information	44 Dwelling Units	194	14	9	5	17	6	11
Medical	620 - Nursing Home/Skilled Nursing	72 Bed	197	12	8	4	16	5	11
Proposed Total			391	26	17	9	33	11	22
Sierra Senior Care (Approved, 2015)									
Residential	254 - Assisted Living and Memory Care	48 Beds	128	7	3	4	11	6	4
Residential	Affordable Housing - See Attached Rate Information	44 Dwelling Units	194	14	9	5	17	6	11
Residential	252 - Senior Adult Housing (Attached)	12 Dwelling Units	41	2	1	1	3	2	1
Proposed Total			363	23	13	10	31	14	16
Sierra Senior Care (Approved, 2011)									
Residential	254 - Assisted Living and Memory Care	48 Beds	128	7	3	4	11	6	4
Medical	620 - Nursing Home/Skilled Nursing	94 Beds	258	16	10	6	21	7	14
Residential	252 - Senior Adult Housing (Attached)	12 Dwelling Units	41	2	1	1	3	2	1
Proposed Total			427	25	14	11	35	15	19
Difference									
Proposed Plan Trips Are Higher Than Previously Denied (2016) Trip Generation Estimates By ---->			106	4	-2	6	9	10	-1
Proposed Plan Trips Are Higher Than Previously Approved (2015) Trip Generation Estimates By ---->			134	7	2	5	11	7	5
Proposed Plan Trips Are Higher Than Previously Approved (2011) Trip Generation Estimates By ---->			70	5	1	4	7	6	2

As shown in **Table 1**, applying the ITE Trip Generation Manual trip rates, the updated land use mix is anticipated to generate up to 497 total daily trips, 30 total AM peak hour trips, and 42 total PM peak hour trips. These volumes are significantly lower than the threshold for an Entry & Access Study (100 peak hour trips) or a Traffic Impact Study (200 peak hour trips).

Compared to the trip generation estimates in the approved *"Sierra Care PUD Handbook"*, from 2011, the updated land use mix is estimated to create an additional 11 peak hour trips or less

during the AM and PM peak hours. The addition of 11 peak hour trips is negligible and would not cause any significant impacts on surrounding intersections and roadways compared to the previously approved development.

Trip generation estimates were also calculated based on the number of employees which is more project specific. Employee projections were provided and used with ITE land uses 254 – Assisted Living and Memory Care and 620 – Nursing Home/Skilled Nursing. **Table 2** provides the Daily, AM peak hour and PM peak hour trip generation for the Sierra Senior Care PUD based on the number of employees.

Table 2. Trip Generation Comparison by Employees

		Trip Generation by # of Employees							
Land Use	ITE Land Use	Size	Daily	AM Peak			PM Peak		
				Total	In	Out	Total	In	Out
Sierra Senior Care (Proposed)									
Residential	254 - Assisted Living and Memory Care	30 Employees	118	11	5	6	17	7	10
Residential	Affordable Housing - See Attached Rate Information	44 Dwelling Units	194	14	9	5	17	6	11
Proposed Total			312	25	14	11	34	13	21
Sierra Senior Care (Not Approved, 2016)									
Residential	Affordable Housing - See Attached Rate Information	44 Dwelling Units	194	14	9	5	17	6	11
Medical	620 - Nursing Home/Skilled Nursing	64 Employees	209	15	10	5	30	20	10
Proposed Total			403	29	19	10	47	26	21
Sierra Senior Care (Approved, 2015)									
Residential	254 - Assisted Living and Memory Care	13 Employees	51	5	2	3	7	3	4
Residential	Affordable Housing - See Attached Rate Information	44 Dwelling Units	194	14	9	5	17	6	11
Residential	252 - Senior Adult Housing (Attached)	12 Dwelling Units	41	2	1	1	3	2	1
Proposed Total			286	21	12	9	27	11	16
Sierra Senior Care (Approved, 2011)									
Residential	254 - Assisted Living and Memory Care	13 Employees	51	5	2	3	7	3	4
Medical	620 - Nursing Home/Skilled Nursing	84 Employees	274	19	13	6	39	25	14
Residential	252 - Senior Adult Housing (Attached)	12 Dwelling Units	41	2	1	1	3	2	1
Proposed Total			366	26	16	10	49	30	19
Difference									
Proposed Plan Trips Are Higher Than Previously Denied (2016) Trip Generation Estimates By ---->			-91	-4	-5	1	-13	-13	0
Proposed Plan Trips Are Higher Than Previously Approved (2015) Trip Generation Estimates By ---->			26	4	2	2	7	2	5
Proposed Plan Trips Are Higher Than Previously Approved (2011) Trip Generation Estimates By ---->			-54	-1	-2	1	-15	-17	2

As shown in **Table 2**, the proposed land use mix is anticipated to generate up to 312 total daily trips, 25 total AM peak hour trips, and 34 total PM peak hour trips. These trip values are expected to more accurately represent the Sierra Senior Care PUD since the majority of the trips will be produced by employees.

Roadway Volumes

A primary item of interest is the amount of additional trips that would be added to Beck Street and Mountain View Drive. **Table 3** summarizes the daily traffic assignment to Mountain View Drive and Beck Street for each project scenario that has been presented since the 2011 approved PUD, based on employee projections.

Table 3. Trip Assignment

Land Use	ITE Land Use	Size	Trips to Mountain View			Trips to Beck Street		
			Daily	AM Peak	PM Peak	Daily	AM Peak	PM Peak
Sierra Senior Care (Proposed)								
Residential	254 - Assisted Living and Memory Care	30 Employees	58	11	17	60	0	0
Residential	Affordable Housing - See Attached Rate Information	44 Dwelling Units	0	0	0	194	14	17
Proposed Total			58	11	17	254	14	17
Sierra Senior Care (Not Approved, 2016)								
Residential	Affordable Housing - See Attached Rate Information	44 Dwelling Units	0	0	0	194	14	17
Medical	620 - Nursing Home/Skilled Nursing	64 Employees	81	15	30	128	0	0
Proposed Total			81	15	30	322	14	17
Sierra Senior Care (Approved, 2015)								
Residential	254 - Assisted Living and Memory Care	13 Employees	25	5	7	26	0	0
Residential	Affordable Housing - See Attached Rate Information	44 Dwelling Units	0	0	0	194	14	17
Residential	252 - Senior Adult Housing (Attached)	12 Dwelling Units	41	2	3	0	0	0
Proposed Total			66	7	10	220	14	17
Sierra Senior Care (Approved, 2011)								
Residential	254 - Assisted Living and Memory Care	13 Employees	25	5	7	26	0	0
Medical	620 - Nursing Home/Skilled Nursing	84 Employees	0	0	0	274	19	39
Residential	252 - Senior Adult Housing (Attached)	12 Dwelling Units	41	2	3	0	0	0
Proposed Total			66	7	10	300	19	39
Difference								
Proposed Plan Trips Are Higher Than Previously Denied (2016) Trip Generation Estimates By ---->			-23	-4	-13	-68	0	0
Proposed Plan Trips Are Higher Than Previously Approved (2015) Trip Generation Estimates By ---->			-8	4	7	34	0	0
Proposed Plan Trips Are Higher Than Previously Approved (2011) Trip Generation Estimates By ---->			-8	4	7	-46	-5	-22

Assumption: Two Trips Per Day Per Employee (all during non-peak hours based on shift schedule)

As shown in **Table 3**, approximately 58 and 254 daily trips will be added to Mountain Street and Beck Street, respectively, with the current proposal. Additionally, 17 or less trips will be applied to either roadway during the peak hours. The proposed Sierra Senior Care PUD is estimated to produce 68 fewer daily trips on Beck Street compared to the previously proposed Sierra Senior Care PUD (2016) that was denied and 46 fewer daily trips than the approved 2011 edition PUD. The current proposal is essentially equivalent to the 2011 and 2015 approved PUD projects from a trip generation perspective.

Traffic Study Requirements

Exhibit 1 shows an excerpt from the New Development Traffic Study Process that describes the requirements for formal traffic studies.

Exhibit 1. Article IX: Vehicle Access/Circulation and Traffic Analysis

ARTICLE IX: - VEHICLE ACCESS/CIRCULATION AND TRAFFIC ANALYSIS

Section 18.12.903. - Traffic Impact Analysis Requirements.

(a) General.

(1) Projects That May Require a Traffic Report.

- a. Applications for master plan amendment calculated generating 200 or more peak-hour trips or that proposes a change to roadways in the Regional Transportation Plan (RTP) for Washoe County or the Regional Road Impact Fee (RRIF) Network.
- b. Projects defined as "projects of regional significance" in Section 18.06.402.
- c. Projects that will be phased over a period of time exceeding ten years.
- d. Projects that may impact planned roadway projects, e.g., a proposal may require revised access or be located near an arterial intersection.
- e. Projects deemed to have impacts related to intersection capacity, safety, neighborhood, or other concerns as identified by the City of Reno or the State of Nevada Department of Transportation (NDOT).

(2) When a Traffic Impact Analysis (TIA) May Be Required.

- a. A traffic impact analysis shall be submitted concurrently with the submission of an application for zoning map amendment, a special use permit, a building permit, a site plan review, a general plan amendment or a tentative map, if the site meets the criteria in (a)(1) above.
- b. If a TIA has been previously submitted for a particular site, a new study shall not be required. However, the administrator may require an update of the study if the study is more than one year old or if conditions on the site or in the general area of the site have changed substantially.
- c. In addition, the administrator may require a TIA of any proposed development if there is cause and concern that the development will conflict with existing traffic flows, may impact the traffic operation at intersections, may not provide adequate site access or will likely adversely impact neighborhoods.

(3) Professionally Prepared.

All traffic studies must be prepared and sealed by a Nevada Registered Professional Engineer with experience in transportation planning and engineering.

(b) Projects That May Require a Traffic Entry and Access Study.

(1) Trip Threshold.

All developments for which the estimated trip generation for all uses on the lot collectively is equal to or greater than 100 trips per peak hour, according to Table 18.12-7 shall be required to submit a traffic entry and access study:

Section IX(a)(1.a) states that a project generating 200 or more peak-hour trips may require a traffic report. Additionally, Article IX (b) states that all developments that generate over 100 trips per peak hour are required to submit a traffic entry and access study. The updated Sierra Care PUD project is estimated to only generate 42 peak hour trips, less than half what is required to trigger a traffic entry and access study.

Traffic analysis is not required below 100 peak hour trips because the generation is so low that impacts would only be found in very unusual cases. There is no indication of any unique or atypical condition in this particular project area. The local street network provides multiple route options and would not concentrate traffic at any one location.

Existing Traffic Volumes

Traffic volumes were previously collected on the surrounding roadways, at the locations shown in **Attachment B**. The average daily traffic on the studied roadways are shown in **Table 4**. All collected data is shown in **Attachment C**.

Table 4. Collected Roadway Volumes

Roadway	Average Daily Traffic (ADT) 2008	Average Daily Traffic (ADT) 2016
Lakeside Dr	5497	--
Mountain View Dr	383	474
Sunrise Dr	79	--
Watt St	405	--
Beck St	--	558

Lakeside Drive is classified as a Low-Access Control Collector according to the Washoe County 2035 RTP. The service threshold for this type of roadway is 13,400 ADT for LOS "D". The current counts on Lakeside Drive are considerably lower than this threshold.

All the local streets in the project area carry less than 560 ADT, which are low volumes, well below any level of service thresholds.

Potential Traffic Impacts

The proposed project is anticipated to generate up to 42 peak hour trips, only 11 peak hour trips more than previously approved handbook amendments for this project. The low trip generation is not anticipated to cause any significant traffic impacts. The local street network provides

multiple route options and would not concentrate traffic at any one location. Minor project effects throughout the regional roadway network will be mitigated by the project's payment of standard Regional Road Impact Fees.

Please do not hesitate to contact us at (775) 322-4300 with any questions.

Sincerely,
TRAFFIC WORKS, LLC



Loren E. Chilson, PE
Principal

Attachments:

- Attachment A – Trip Generation Calculations
- Attachment B – Figure 1, Count Locations
- Attachment C – Roadway Count Data

44 Units of Affordable Housing **Mountain View Drive Senior Housing**
+
114 Beds of Assisted Living

Sierra Senior Care			ADT		7:00 to 9:00 AM Peak Hour			4:00 to 6:00 PM Peak Hour				
	Quantity	Type	Rate	Volume	Rate	Volume	Enter	Exit	Rate	Volume	Enter	Exit
Land Use (ITE Code)												
Senior Adult Housing - Attached (Cottages) ITE Land Use Code 252	0	occupied units	3.44	0	0.2	0	0 45%	0 55%	0.25	0	0 61%	0 39%
Assisted Living and Memory Care ITE Land Use Code 254	114	beds	2.66	303	0.14	16	6 38%	10 62%	0.22	25	15 61%	10 39%
Nursing Home (Skilled Nursing) ITE Land Use Code 620	0	units	2.74	0	0.17	0	0 65%	0 35%	0.22	0	0 33%	0 67%
Affordable Housing See below for Rate Information	44	units	4.42	194	0.31	14	9 65%	5 35%	0.39	17	6 33%	11 67%
Total				498		30	15	15		42	21	21

- Apartment Building (ITE LUC 220)

- Low Rise Apartment Building (ITE LUC 221)

- San Francisco Bay Area Travel Survey, income under \$25,000

- 2001 Nat'l Household Travel Survey, low income households

- Puget Sound Regional Council

- UC Berkeley Study, downtown affordable housing

- Use for NNCHRB Affordable Housing, 67% of low rise

6.72 0.51

6.59 0.46

5.5 Compared to regional average of 7.6 trips or 28% reduction

4.42 26% of low income households don't own a car and only 34% of trips made by car (Use 67% of ITE LUC 221)

4.81 Households with income of \$30k to \$50K generate 27% less trips

1.98 0.18 0.13
Peak hour trip rates only 30% of ITE apartments (LUC 220)

4.42 0.31 0.39

0.62

0.58

Mountain View Drive Senior Housing

Sierra Senior Care		Quantity	Type	ADT		7:00 to 9:00 AM Peak Hour			4:00 to 6:00 PM Peak Hour					
Land Use (ITE Code)				Rate	Volume	Rate	Volume	Enter	Exit	Rate	Volume	Enter	Exit	
Senior Adult Housing - Attached (Cottages) ITE Land Use Code 252				0	occupied units	3.44	0	0.2	0	0	0.25	0	0 61%	0 39%
Assisted Living and Memory Care ITE Land Use Code 254				0	beds	2.66	0	0.14	0	0	0.22	0	0 61%	0 39%
Nursing Home (Skilled Nursing) ITE Land Use Code 620				72	units	2.74	197	0.17	12	8 65%	4 35%	16	5 33%	11 67%
Affordable Housing See below for Rate Information				44	units	4.42	194	0.31	14	9 65%	5 35%	17	6 33%	11 67%
Total							392		26	17	9	33	11	22

- Apartment Building (ITE LUC 220)	6.72	0.51	0.62	
- Low Rise Apartment Building (ITE LUC 221)	6.59	0.46	0.58	
- San Francisco Bay Area Travel Survey, income under \$25,000	5.5	Compared to regional average of 7.6 trips or 28% reduction		
- 2001 Nat'l Household Travel Survey, low income households	4.42	26% of low income households don't own a car and only 34% of trips made by car (Use 67% of ITE LUC 221)		
- Puget Sound Regional Council	4.81	Households with income of \$30k to \$50K generate 27% less trips		
- UC Berkeley Study, downtown affordable housing	1.98	0.18	0.13	
- Use for NNCHRB Affordable Housing, 67% of low rise	4.42	0.31	0.39	
		Peak hour trip rates only 30% of ITE apartments (LUC 220)		

44 Units of Affordable Housing
 +
48 Beds of Assisted Living
 +
12 Units of Senior Adult Housing

Sierra Senior Care			ADT		7:00 to 9:00 AM Peak Hour			4:00 to 6:00 PM Peak Hour				
	Quantity	Type	Rate	Volume	Rate	Volume	Enter	Exit	Rate	Volume	Enter	Exit
Land Use (ITE Code)												
Senior Adult Housing - Attached (Cottages) ITE Land Use Code 252	12	occupied units	3.44	41	0.2	2	1 45%	1 55%	0.25	3	2 61%	1 39%
Assisted Living and Memory Care ITE Land Use Code 254	48	units	2.66	128	0.14	7	3 38%	4 62%	0.22	11	6 61%	4 39%
Nursing Home (Skilled Nursing) ITE Land Use Code 620	0	units	2.74	0	0.17	0	0 65%	0 35%	0.22	0	0 33%	0 67%
Affordable Housing See below for Rate Information	44	units	4.42	194	0.31	14	9 65%	5 35%	0.39	17	6 33%	11 67%
Total				363		23	12	10		31	14	17

- Apartment Building (ITE LUC 220)

- Low Rise Apartment Building (ITE LUC 221)

- San Francisco Bay Area Travel Survey, income under \$25,000

- 2001 Nat'l Household Travel Survey, low income households

- Puget Sound Regional Council

- UC Berkeley Study, downtown affordable housing

- Use for NNCHRB Affordable Housing, 67% of low rise

6.72 0.51 0.62

6.59 0.46 0.58

5.5 Compared to regional average of 7.6 trips or 28% reduction

4.42 26% of low income households don't own a car and only 34% of trips made by car (Use 67% of ITE LUC 221)

4.81 Households with income of \$30K to \$50K generate 27% less trips

1.98 0.18 0.13
Peak hour trip rates only 30% of ITE apartments (LUC 220)

4.42 0.31 0.39

12 Units of Senior Adult Housing
+ 94Units of Skilled Nursing
+ 48 Beds of Assisted Living

Sierra Senior Care Land Use (ITE Code)	Quantity	Type	ADT		7:00 to 9:00 AM Peak Hour			4:00 to 6:00 PM Peak Hour		
			Rate	Volume	Enter	Exit	Rate	Volume	Enter	Exit
Senior Adult Housing - Attached (Cottages) ITE Land Use Code 252	12	occupied units	3.44	41	1 45%	1 55%	0.25	3	2 61%	1 39%
Assisted Living and Memory Care ITE Land Use Code 254	48	units	2.66	128	3 38%	4 62%	0.22	11	6 61%	4 39%
Nursing Home (Skilled Nursing) ITE Land Use Code 620	94	units	2.74	258	10 65%	6 35%	0.22	21	7 33%	14 67%
Affordable Housing See below for Rate Information	0	units	4.42	0	0 65%	0 35%	0.39	0	0 33%	0 67%
Total				427	14	11		34	15	19

- Apartment Building (ITE LUC 220) 6.72 0.51 0.62
- Low Rise Apartment Building (ITE LUC 221) 6.59 0.46 0.58
- San Francisco Bay Area Travel Survey, income under \$25,000 5.5 Compared to regional average of 7.6 trips or 28% reduction
- 2001 Nat'l Household Travel Survey, low income households 4.42 26% of low income households don't own a car and only 34% of trips made by car (Use 67% of ITE LUC 221)
- Puget Sound Regional Council 4.81 Households with income of \$30k to \$50K generate 27% less trips
- UC Berkeley Study, downtown affordable housing 1.98 0.18 0.13
- Use for NNCHRB Affordable Housing, 67% of low rise 4.42 0.31 0.39

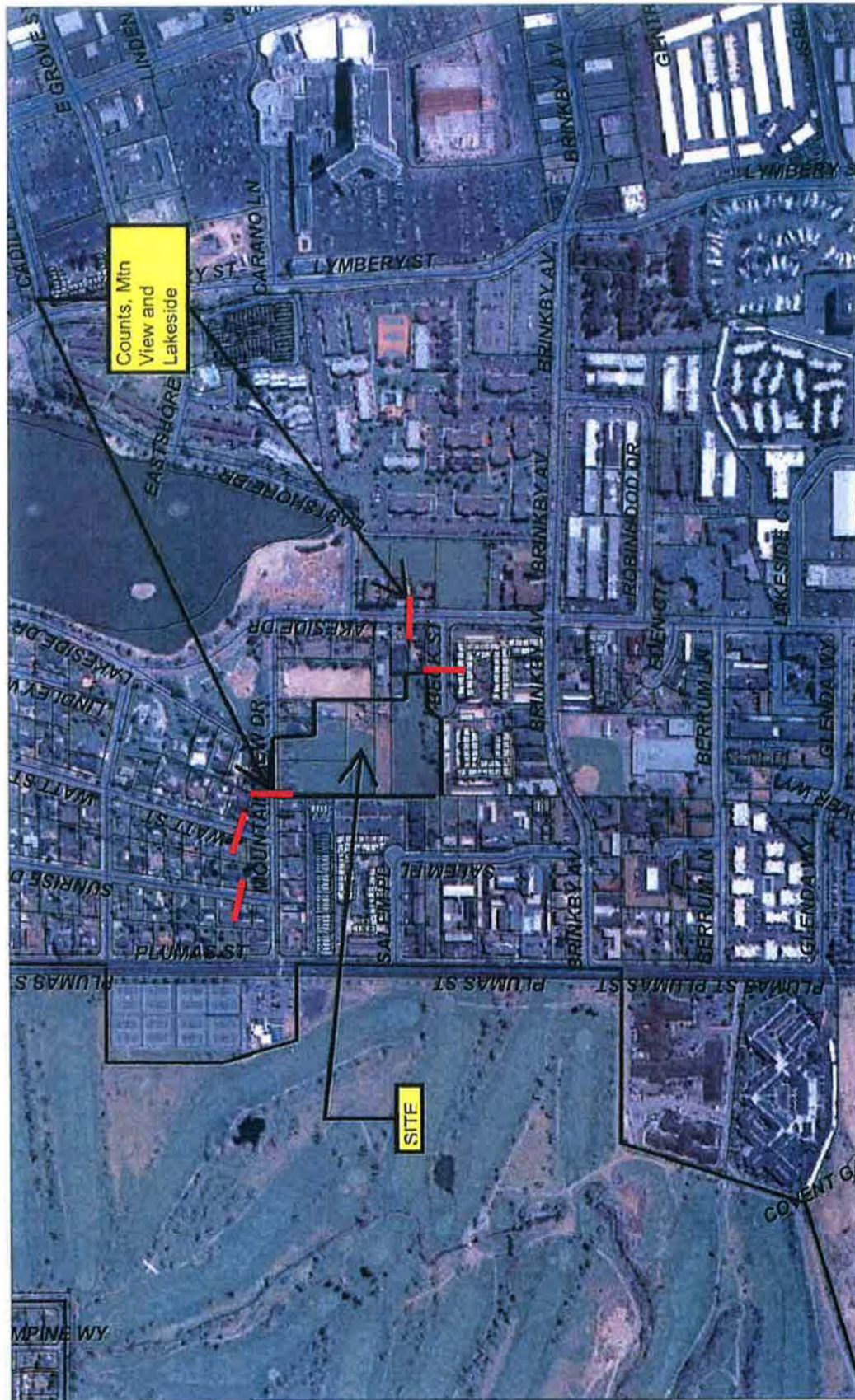
Project Information	
Project Name:	J227 - Mountain View 2017 EMP
No:	By Employees
Date:	1/18/2017
City:	
State/Province:	
Zip/Postal Code:	
Country:	
Client Name:	
Analyst's Name:	
Edition:	ITE-TGM 9th Edition

Land Use	Size	Weekday			Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 7 and 9 a.m.			Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 4 and 6 p.m.		
		Entry	Exit	Total	Entry	Exit	Total	Entry	Exit	Total
254 - Assisted Living	30 Employees	59	59	118			6	11	7	10
Reduction		0	0	0			0	0	0	0
Internal		0	0	0			0	0	0	0
Pass-by		0	0	0			0	0	0	0
Non-pass-by		59	59	118			6	11	7	10
220 - Apartment	44 Dwelling Units	97	97	194			5	14	6	11
Reduction		0	0	0			0	0	0	0
Internal		0	0	0			0	0	0	0
Pass-by		0	0	0			0	0	0	0
Non-pass-by		97	97	194			5	14	11	6
Total		222	220	442			11	25	13	21
Total Reduction		0	0	0			0	0	0	0
Total Internal		0	0	0			0	0	0	0
Total Pass-by		0	0	0			0	0	0	0
Total Non-pass-by		222	220	442			11	25	13	21

Project Information	
Project Name:	J227 - Mountain View 2016
No:	By Employees
Date:	2/6/2017
City:	
State/Province:	
Zip/Postal Code:	
Country:	
Client Name:	
Analyst's Name:	
Edition:	ITE-TGM 9th Edition

Land Use	Size	Weekday			Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 7 and 9 a.m.			Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 4 and 6 p.m.		
		Entry	Exit	Total	Entry	Exit	Total	Entry	Exit	Total
620 - Nursing Home	64 Employees	105	104	209	15	20	35	10	30	40
Reduction		0	0	0	0	0	0	0	0	0
Internal		0	0	0	0	0	0	0	0	0
Pass-by		0	0	0	0	0	0	0	0	0
Non-pass-by		105	104	209	15	20	35	10	30	40
220 - Apartment	44 Dwelling Units	97	97	194	14	6	20	11	17	28
Reduction		0	0	0	0	0	0	0	0	0
Internal		0	0	0	0	0	0	0	0	0
Pass-by		97	97	194	14	6	20	11	17	28
Non-pass-by		97	97	194	14	6	20	11	17	28
Total		202	201	403	29	26	55	21	47	68
Total Reduction		0	0	0	0	0	0	0	0	0
Total Internal		0	0	0	0	0	0	0	0	0
Total Pass-by		0	0	0	0	0	0	0	0	0
Total Non-pass-by		202	201	403	29	26	55	21	47	68

Virginia Lake Property



SCALE 1 : 7,200



Attachment C.1 - Lakeside Drive Count Data

Volumes for: Tuesday, February 12, 2008

City: Reno

Project #: 08-7084-004

Location: Lakeside Dr N/o Beck St

AM Period	NB	SB	EB	WB		PM Period	NB	SB	EB	WB	
00:00	0	3				12:00	66	43			
00:15	3	3				12:15	73	63			
00:30	3	7				12:30	76	61			
00:45	2	8	1	14	22	12:45	67	282	61	228	510
01:00	4	2				13:00	72	65			
01:15	1	2				13:15	74	61			
01:30	2	0				13:30	84	57			
01:45	3	10	0	4	14	13:45	78	308	44	227	535
02:00	1	1				14:00	61	38			
02:15	1	1				14:15	71	56			
02:30	3	0				14:30	59	58			
02:45	1	6	2	4	10	14:45	61	252	58	210	462
03:00	1	1				15:00	79	41			
03:15	2	1				15:15	68	49			
03:30	1	1				15:30	86	57			
03:45	1	5	1	4	9	15:45	75	308	52	199	507
04:00	1	0				16:00	85	49			
04:15	1	1				16:15	92	52			
04:30	4	0				16:30	72	54			
04:45	2	8	1	2	10	16:45	76	325	57	212	537
05:00	1	2				17:00	99	71			
05:15	7	2				17:15	79	77			
05:30	7	4				17:30	62	61			
05:45	9	24	7	15	39	17:45	65	305	45	254	559
06:00	6	12				18:00	52	50			
06:15	9	9				18:15	32	32			
06:30	16	7				18:30	42	28			
06:45	24	55	9	37	92	18:45	51	177	21	131	308
07:00	12	22				19:00	37	26			
07:15	23	23				19:15	27	22			
07:30	27	26				19:30	23	18			
07:45	24	86	31	102	188	19:45	19	106	16	82	188
08:00	35	27				20:00	26	24			
08:15	31	32				20:15	19	9			
08:30	39	38				20:30	12	10			
08:45	44	149	29	126	275	20:45	14	71	19	62	133
09:00	30	30				21:00	20	9			
09:15	49	38				21:15	13	14			
09:30	48	28				21:30	13	12			
09:45	50	177	34	130	307	21:45	11	57	9	44	101
10:00	40	37				22:00	10	9			
10:15	50	32				22:15	9	11			
10:30	60	41				22:30	10	6			
10:45	51	201	51	161	362	22:45	2	31	3	29	60
11:00	48	37				23:00	10	5			
11:15	58	46				23:15	3	2			
11:30	70	48				23:30	4	1			
11:45	60	236	57	188	424	23:45	2	19	3	11	30
Total Vol.	965	787			1752		2241	1689			3930
						Daily Totals					
						NB	SB	EB	WB	Combined	
						3206	2476			5682	

AM				PM			
Split %	55.1%	44.9%	30.8%	57.0%	43.0%	69.2%	
Peak Hour	11:45	11:45	11:45	16:15	16:45	16:30	
Volume	275	224	499	339	266	585	
P.H.F.	0.90	0.89	0.91	0.86	0.86	0.86	

Attachment C.1 - Lakeside Drive Count Data

Volumes for: Wednesday, February 13, 2008

City: Reno

Project #: 08-7084-004

Location: Lakeside Dr N/o Beck St

AM Period	NB	SB	EB	WB	PM Period	NB	SB	EB	WB
00:00	2	2			12:00	50	41		
00:15	2	1			12:15	51	51		
00:30	3	0			12:30	68	56		
00:45	3	10	1	4	12:45	63	232	36	184
									416
01:00	2	4			13:00	65	56		
01:15	3	1			13:15	59	50		
01:30	1	1			13:30	66	49		
01:45	3	9	2	8	13:45	72	262	40	195
									457
02:00	1	2			14:00	62	35		
02:15	1	1			14:15	51	41		
02:30	1	2			14:30	59	36		
02:45	1	4	0	5	14:45	65	237	56	168
									405
03:00	1	0			15:00	63	55		
03:15	1	4			15:15	55	46		
03:30	1	1			15:30	65	56		
03:45	0	3	0	5	15:45	79	262	53	210
									472
04:00	2	2			16:00	79	56		
04:15	1	3			16:15	88	62		
04:30	2	1			16:30	80	53		
04:45	4	9	3	9	16:45	70	317	44	215
									532
05:00	2	2			17:00	95	59		
05:15	7	3			17:15	84	53		
05:30	10	4			17:30	70	46		
05:45	6	25	7	16	17:45	65	314	50	208
									522
06:00	4	10			18:00	66	39		
06:15	6	6			18:15	53	42		
06:30	14	12			18:30	40	33		
06:45	17	41	15	43	18:45	28	187	21	135
									322
07:00	22	13			19:00	23	27		
07:15	26	25			19:15	36	36		
07:30	31	33			19:30	27	15		
07:45	26	105	22	93	19:45	20	106	11	89
									195
08:00	30	20			20:00	19	20		
08:15	25	21			20:15	19	13		
08:30	39	38			20:30	22	12		
08:45	36	130	33	112	20:45	18	78	23	68
									146
09:00	31	24			21:00	17	4		
09:15	36	30			21:15	18	7		
09:30	47	31			21:30	14	14		
09:45	44	158	32	117	21:45	6	55	7	32
									87
10:00	38	34			22:00	13	7		
10:15	46	33			22:15	7	6		
10:30	53	30			22:30	10	14		
10:45	53	190	37	134	22:45	12	42	8	35
									77
11:00	61	41			23:00	6	9		
11:15	45	47			23:15	6	7		
11:30	54	56			23:30	3	2		
11:45	64	224	40	184	23:45	4	19	5	23
									42
Total Vol.	908	730		1638		2111	1562		3673
					Daily Totals				
					NB	SB	EB	WB	Combined
					3019	2292			5311
AM					PM				
Split %	55.4%	44.6%		30.8%	57.5%	42.5%			69.2%
Peak Hour	11:45	11:30		11:45	16:15	15:30			16:15
Volume	233	188		421	333	227			551
P.H.F.	0.86	0.84		0.85	0.88	0.92			0.89

Attachment C.2 - Mountain View Drive Count Data

Volumes for: Wednesday, February 27, 2008

City: Reno

Project #: 08-7084-003

Location: Mountain View Dr btwn Watt St & Lakeside Dr

AM Period	NB	SB	EB	WB	PM Period	NB	SB	EB	WB
00:00			0	0	12:00			8	2
00:15			0	0	12:15			1	6
00:30			0	0	12:30			2	9
00:45			0	0	12:45			9	20
01:00			0	0	13:00			1	1
01:15			0	0	13:15			7	3
01:30			0	0	13:30			1	6
01:45			0	0	13:45			1	10
02:00			0	2	14:00			2	1
02:15			0	0	14:15			2	3
02:30			0	2	14:30			7	2
02:45			0	0	14:45			9	20
03:00			0	0	15:00			7	6
03:15			0	0	15:15			0	5
03:30			0	0	15:30			1	7
03:45			0	0	15:45			4	12
04:00			0	0	16:00			0	4
04:15			0	1	16:15			1	9
04:30			0	1	16:30			5	0
04:45			0	0	16:45			4	10
05:00			3	1	17:00			3	4
05:15			0	2	17:15			9	2
05:30			0	2	17:30			5	6
05:45			2	5	17:45			2	19
06:00			0	0	18:00			8	3
06:15			0	2	18:15			2	1
06:30			0	1	18:30			7	2
06:45			1	1	18:45			4	21
07:00			5	2	19:00			0	4
07:15			1	1	19:15			5	1
07:30			7	5	19:30			1	0
07:45			5	18	19:45			1	7
08:00			3	0	20:00			1	2
08:15			1	2	20:15			0	2
08:30			2	4	20:30			5	0
08:45			2	8	20:45			0	6
09:00			1	2	21:00			1	1
09:15			5	4	21:15			0	1
09:30			4	1	21:30			4	0
09:45			2	12	21:45			0	5
10:00			4	4	22:00			0	5
10:15			1	1	22:15			0	2
10:30			5	2	22:30			2	1
10:45			6	16	22:45			0	2
11:00			3	1	23:00			0	0
11:15			1	1	23:15			0	0
11:30			1	4	23:30			0	0
11:45			4	9	23:45			0	0
Total Vol.			69	65	134			132	126

258

		Daily Totals		
NB	SB	EB	WB	Combined
		201	191	392

	AM				PM		
Split %	51.5%	48.5%	34.2%		51.2%	48.8%	65.8%
Peak Hour	07:00	11:45	11:45		14:15	12:00	12:00
Volume	18	18	33		25	23	43
P.H.F.	0.64	0.50	0.75		0.69	0.64	0.72

Attachment C.2 - Mountain View Drive Count Data

Volumes for: Thursday, February 28, 2008

City: Reno

Project #: 08-7084-003

Location: Mountain View Dr btwn Watt St & Lakeside Dr

AM Period	NB	SB	EB	WB	PM Period	NB	SB	EB	WB	
00:00			0	0	12:00			5	1	
00:15			0	0	12:15			3	7	
00:30			0	0	12:30			3	8	
00:45			0	0	12:45			5	16	
01:00			0	0	13:00			0	5	
01:15			0	0	13:15			8	3	
01:30			0	0	13:30			1	4	
01:45			0	0	13:45			4	13	
02:00			0	0	14:00			2	1	
02:15			0	0	14:15			4	3	
02:30			0	1	14:30			5	1	
02:45			0	0	14:45			8	19	
03:00			0	0	15:00			5	8	
03:15			0	0	15:15			0	3	
03:30			0	0	15:30			4	7	
03:45			0	0	15:45			3	12	
04:00			0	0	16:00			1	4	
04:15			0	0	16:15			5	9	
04:30			0	0	16:30			6	0	
04:45			0	0	16:45			3	15	
05:00			2	0	17:00			3	3	
05:15			0	0	17:15			8	5	
05:30			0	1	17:30			6	7	
05:45			1	3	17:45			3	20	
06:00			1	0	18:00			8	2	
06:15			0	1	18:15			0	1	
06:30			0	1	18:30			5	3	
06:45			1	2	18:45			2	15	
07:00			3	3	19:00			0	2	
07:15			3	1	19:15			4	1	
07:30			5	3	19:30			1	0	
07:45			3	14	19:45			1	6	
08:00			2	1	20:00			1	2	
08:15			3	3	20:15			0	0	
08:30			1	5	20:30			3	0	
08:45			3	9	20:45			1	5	
09:00			1	3	21:00			0	1	
09:15			3	2	21:15			2	3	
09:30			3	2	21:30			3	1	
09:45			2	9	21:45			1	6	
10:00			5	3	22:00			0	3	
10:15			3	1	22:15			0	0	
10:30			3	2	22:30			1	1	
10:45			4	15	22:45			0	1	
11:00			3	2	23:00			0	0	
11:15			1	2	23:15			0	0	
11:30			4	4	23:30			0	0	
11:45			4	12	23:45			0	0	
Total Vol.			64	59	123			128	122	250

		Daily Totals		
NB	SB	EB	WB	Combined
		192	181	373

AM				PM			
Split %	52.0%	48.0%	33.0%	51.2%	48.8%	67.0%	
Peak Hour	11:30	11:45	11:45	17:15	12:15	16:45	
Volume	16	18	33	25	25	41	
P.H.F.	0.80	0.56	0.75	0.78	0.78	0.79	

Attachment C.3 - Sunrise Dr Count Data

Volumes for: Wednesday, February 27, 2008

City: Reno

Project #: 08-7084-001

Location: Sunrise Dr N/o Mountain View Dr

AM Period	NB	SB	EB	WB	PM Period	NB	SB	EB	WB
00:00	1	0			12:00	1	0		
00:15	1	0			12:15	0	1		
00:30	0	0			12:30	2	0		
00:45	0	2	0	0	12:45	1	4	0	1
									5
01:00	0	0			13:00	1	1		
01:15	0	0			13:15	1	1		
01:30	0	0			13:30	2	1		
01:45	0	0	0	0	13:45	0	4	1	4
									8
02:00	0	0			14:00	1	1		
02:15	1	0			14:15	1	1		
02:30	1	0			14:30	0	1		
02:45	0	2	0	0	14:45	1	3	0	3
									6
03:00	0	0			15:00	0	0		
03:15	0	0			15:15	0	1		
03:30	0	0			15:30	0	1		
03:45	0	0	0	0	15:45	1	1	1	3
									4
04:00	0	0			16:00	1	1		
04:15	1	0			16:15	0	1		
04:30	0	0			16:30	0	2		
04:45	1	2	0	0	16:45	1	2	0	4
									6
05:00	0	0			17:00	0	1		
05:15	0	0			17:15	0	1		
05:30	0	0			17:30	1	0		
05:45	0	0	0	0	17:45	1	2	1	3
									5
06:00	0	0			18:00	0	2		
06:15	0	0			18:15	1	0		
06:30	1	0			18:30	0	1		
06:45	0	1	1	1	18:45	1	2	2	5
									7
07:00	2	0			19:00	1	1		
07:15	0	1			19:15	0	0		
07:30	0	1			19:30	0	1		
07:45	1	3	0	2	19:45	0	1	1	3
									4
08:00	0	0			20:00	1	0		
08:15	0	1			20:15	1	0		
08:30	0	0			20:30	0	0		
08:45	0	0	1	2	20:45	0	2	0	0
									2
09:00	0	2			21:00	1	0		
09:15	0	1			21:15	0	1		
09:30	1	0			21:30	0	1		
09:45	1	2	1	4	21:45	0	1	1	3
									4
10:00	0	1			22:00	2	0		
10:15	0	1			22:15	0	0		
10:30	1	1			22:30	0	0		
10:45	0	1	2	5	22:45	0	2	0	0
									2
11:00	0	1			23:00	0	0		
11:15	0	0			23:15	0	0		
11:30	1	0			23:30	0	0		
11:45	0	1	1	2	23:45	0	0	0	0
Total Vol.	14	16		30		24	29		53

Daily Totals				Combined
NB	SB	EB	WB	
38	45			83

AM				PM			
Split %	46.7%	53.3%	36.1%	45.3%	54.7%	63.9%	
Peak Hour	06:15	10:00	09:00	12:30	15:45	12:45	
Volume	3	5	6	5	5	8	
P.H.F.	0.38	0.63	0.75	0.63	0.63	0.67	

Attachment C.3 - Sunrise Drive Count Data

Volumes for: Thursday, February 28, 2008

City: Reno

Project #: 08-7084-001

Location: Sunrise Dr N/o Mountain View Dr

AM Period	NB	SB	EB	WB	PM Period	NB	SB	EB	WB
00:00	0	0			12:00	1	0		
00:15	1	0			12:15	0	1		
00:30	0	0			12:30	3	0		
00:45	0	1	0	0	12:45	1	5	0	1
01:00	0	0			13:00	1	0		
01:15	0	0			13:15	2	1		
01:30	0	0			13:30	2	1		
01:45	0	0	0	0	13:45	0	5	0	2
02:00	0	0			14:00	1	1		
02:15	1	0			14:15	1	2		
02:30	0	0			14:30	0	0		
02:45	0	1	0	0	14:45	1	3	0	3
03:00	0	0			15:00	0	0		
03:15	0	0			15:15	0	0		
03:30	0	0			15:30	0	0		
03:45	0	0	0	0	15:45	0	0	1	1
04:00	0	0			16:00	1	0		
04:15	0	0			16:15	0	1		
04:30	0	0			16:30	0	2		
04:45	1	1	0	0	16:45	0	1	0	3
05:00	0	0			17:00	1	2		
05:15	0	0			17:15	2	4		
05:30	0	0			17:30	1	0		
05:45	0	0	0	0	17:45	1	5	0	6
06:00	0	0			18:00	0	3		
06:15	0	0			18:15	0	0		
06:30	0	0			18:30	0	1		
06:45	1	1	0	0	18:45	1	1	2	6
07:00	2	0			19:00	2	0		
07:15	0	1			19:15	1	0		
07:30	0	0			19:30	1	1		
07:45	2	4	0	1	19:45	0	4	0	1
08:00	0	0			20:00	0	0		
08:15	0	0			20:15	1	0		
08:30	0	0			20:30	0	0		
08:45	0	0	1	1	20:45	0	1	0	0
09:00	0	2			21:00	1	0		
09:15	0	0			21:15	0	0		
09:30	2	1			21:30	0	1		
09:45	1	3	2	5	21:45	0	1	0	1
10:00	0	0			22:00	2	0		
10:15	1	0			22:15	0	0		
10:30	1	0			22:30	0	0		
10:45	0	2	2	2	22:45	0	2	0	0
11:00	0	0			23:00	0	0		
11:15	0	0			23:15	0	0		
11:30	1	0			23:30	0	0		
11:45	0	1	0	0	23:45	0	0	0	0
Total Vol.	14	9		23		28	24		52
					Daily Totals				
					NB	SB	EB	WB	Combined
					42	33			75
AM					PM				
Split %	60.9%	39.1%		30.7%	53.8%	46.2%			69.3%
Peak Hour	07:00	09:00		09:00	12:30	16:30			16:30
Volume	4	5		8	7	8			11
P.H.F.	0.50	0.63		0.67	0.50	0.50			0.46

Attachment C.4 - Watt St Count Data

Volumes for: Wednesday, February 27, 2008

City: Reno

Project #: 08-7084-002

Location: Watt St N/o Mountain View Dr

AM Period	NB	SB	EB	WB	PM Period	NB	SB	EB	WB
00:00	0	1			12:00	0	2		
00:15	0	0			12:15	5	5		
00:30	0	3			12:30	6	0		
00:45	0	0	2	6	12:45	4	15	6	13
									28
01:00	1	3			13:00	1	4		
01:15	0	2			13:15	2	8		
01:30	1	0			13:30	2	8		
01:45	2	4	0	5	13:45	1	6	1	21
									27
02:00	0	0			14:00	2	3		
02:15	0	0			14:15	1	4		
02:30	0	0			14:30	2	1		
02:45	0	0	0	0	14:45	3	8	2	10
									18
03:00	0	0			15:00	1	1		
03:15	0	0			15:15	7	2		
03:30	0	0			15:30	4	7		
03:45	0	0	0	0	15:45	3	15	3	13
									28
04:00	0	0			16:00	6	4		
04:15	0	0			16:15	5	1		
04:30	0	0			16:30	6	4		
04:45	2	2	0	0	16:45	3	20	3	12
									32
05:00	0	0			17:00	4	1		
05:15	1	0			17:15	6	1		
05:30	2	0			17:30	6	2		
05:45	0	3	1	1	17:45	5	21	6	10
									31
06:00	1	0			18:00	2	7		
06:15	1	1			18:15	6	9		
06:30	3	0			18:30	6	1		
06:45	6	11	0	1	18:45	2	16	1	18
									34
07:00	4	2			19:00	1	2		
07:15	1	0			19:15	0	3		
07:30	1	1			19:30	3	1		
07:45	3	9	1	4	19:45	4	8	5	11
									19
08:00	3	2			20:00	2	4		
08:15	6	5			20:15	2	2		
08:30	4	1			20:30	1	2		
08:45	5	18	2	10	20:45	3	8	1	9
									17
09:00	6	2			21:00	0	1		
09:15	4	7			21:15	3	0		
09:30	2	6			21:30	1	0		
09:45	3	15	6	21	21:45	0	4	0	1
									5
10:00	1	2			22:00	1	1		
10:15	1	1			22:15	2	2		
10:30	0	4			22:30	0	1		
10:45	2	4	1	8	22:45	0	3	2	6
									9
11:00	5	4			23:00	0	1		
11:15	4	6			23:15	0	1		
11:30	2	4			23:30	0	0		
11:45	7	18	0	14	23:45	0	0	2	4
									4
Total Vol.	84	70		154		124	128		252

Daily Totals				Combined
NB	SB	EB	WB	
208	198			406

AM				PM			
Split %	54.5%	45.5%	37.9%	49.2%	50.8%		62.1%
Peak Hour	08:15	09:00	09:00	17:00	12:45		17:30
Volume	21	21	36	21	26		43
P.H.F.	0.88	0.75	0.82	0.92	0.81		0.72

Attachment C.4 - Watt St Count Data

Volumes for: Thursday, February 28, 2008

City: Reno

Project #: 08-7084-002

Location: Watt St N/o Mountain View Dr

AM Period	NB	SB	EB	WB	PM Period	NB	SB	EB	WB
00:00	0	0			12:00	0	2		
00:15	0	0			12:15	4	4		
00:30	0	2			12:30	6	0		
00:45	0	0	4	6	12:45	3	13	4	10
									23
01:00	2	4			13:00	1	3		
01:15	0	1			13:15	2	7		
01:30	1	0			13:30	4	7		
01:45	0	3	0	5	13:45	5	12	1	18
									30
02:00	0	0			14:00	3	5		
02:15	0	0			14:15	3	2		
02:30	0	0			14:30	1	1		
02:45	0	0	0	0	14:45	2	9	4	12
									21
03:00	0	0			15:00	2	2		
03:15	0	0			15:15	5	5		
03:30	0	0			15:30	4	5		
03:45	0	0	0	0	15:45	2	13	2	14
									27
04:00	0	0			16:00	8	6		
04:15	0	0			16:15	6	2		
04:30	0	0			16:30	6	4		
04:45	0	0	0	0	16:45	3	23	2	14
									37
05:00	0	0			17:00	4	3		
05:15	1	0			17:15	7	2		
05:30	0	0			17:30	9	5		
05:45	0	1	0	0	17:45	5	25	6	16
									41
06:00	1	0			18:00	0	5		
06:15	1	1			18:15	4	8		
06:30	2	0			18:30	4	3		
06:45	5	9	0	1	18:45	2	10	1	17
									27
07:00	3	1			19:00	2	2		
07:15	1	0			19:15	0	2		
07:30	3	3			19:30	3	2		
07:45	2	9	1	5	19:45	3	8	4	10
									18
08:00	2	1			20:00	2	4		
08:15	4	4			20:15	2	1		
08:30	2	3			20:30	2	2		
08:45	5	13	2	10	20:45	4	10	2	9
									19
09:00	6	2			21:00	0	1		
09:15	4	5			21:15	2	0		
09:30	2	7			21:30	0	2		
09:45	3	15	6	20	21:45	0	2	1	4
									6
10:00	1	2			22:00	1	2		
10:15	3	1			22:15	0	1		
10:30	3	6			22:30	0	0		
10:45	2	9	1	10	22:45	0	1	0	3
									4
11:00	6	6			23:00	0	0		
11:15	3	5			23:15	0	1		
11:30	1	4			23:30	0	0		
11:45	5	15	2	17	23:45	0	0	1	2
									2
Total Vol.	74	74		148		126	129		255
					Daily Totals				
					NB	SB	EB	WB	Combined
					200	203			403
					Split %				
AM					PM				
Split %	50.0%	50.0%		36.7%	49.4%	50.6%			63.3%
Peak Hour	08:15	09:00		09:00	17:00	17:30			17:30
Volume	17	20		35	25	24			42
P.H.F.	0.71	0.71		0.97	0.81	0.75			0.75

City:

Project #:

Location:

AM Period	NB	SB	EB	WB	PM Period	NB	SB	EB	WB
00:00					12:00				
00:15					12:15				
00:30					12:30				
00:45					12:45				
01:00					13:00				
01:15					13:15				
01:30					13:30				
01:45					13:45				
02:00					14:00				
02:15					14:15				
02:30					14:30				
02:45					14:45				
03:00					15:00				
03:15					15:15				
03:30					15:30				
03:45					15:45				
04:00					16:00				
04:15					16:15				
04:30					16:30				
04:45					16:45				
05:00					17:00				
05:15					17:15				
05:30					17:30				
05:45					17:45				
06:00					18:00				
06:15					18:15				
06:30					18:30				
06:45					18:45				
07:00					19:00				
07:15					19:15				
07:30					19:30				
07:45					19:45				
08:00					20:00				
08:15					20:15				
08:30					20:30				
08:45					20:45				
09:00					21:00				
09:15					21:15				
09:30					21:30				
09:45					21:45				
10:00					22:00				
10:15					22:15				
10:30					22:30				
10:45					22:45				
11:00					23:00				
11:15					23:15				
11:30					23:30				
11:45					23:45				

Total Vol.

		Daily Totals					
		NB	SB	EB	WB	Combined	
		AM			PM		
Split %							
Peak Hour							
Volume							
P.H.F.							

Project #:

AM Period	NB	SB	EB	WB	PM Period	NB	SB	EB	WB
00:00					12:00				
00:15					12:15				
00:30					12:30				
00:45					12:45				
01:00					13:00				
01:15					13:15				
01:30					13:30				
01:45					13:45				
02:00					14:00				
02:15					14:15				
02:30					14:30				
02:45					14:45				
03:00					15:00				
03:15					15:15				
03:30					15:30				
03:45					15:45				
04:00					16:00				
04:15					16:15				
04:30					16:30				
04:45					16:45				
05:00					17:00				
05:15					17:15				
05:30					17:30				
05:45					17:45				
06:00					18:00				
06:15					18:15				
06:30					18:30				
06:45					18:45				
07:00					19:00				
07:15					19:15				
07:30					19:30				
07:45					19:45				
08:00					20:00				
08:15					20:15				
08:30					20:30				
08:45					20:45				
09:00					21:00				
09:15					21:15				
09:30					21:30				
09:45					21:45				
10:00					22:00				
10:15					22:15				
10:30					22:30				
10:45					22:45				
11:00					23:00				
11:15					23:15				
11:30					23:30				
11:45					23:45				

Daily Totals				
NB	SB	EB	WB	Combined

	AM	PM
Split %		
Peak Hour		
Volume		
P.H.F.		

C-26

City:

Project #:

Location:

AM Period	NB	SB	EB	WB	PM Period	NB	SB	EB	WB
00:00					12:00				
00:15					12:15				
00:30					12:30				
00:45					12:45				
01:00					13:00				
01:15					13:15				
01:30					13:30				
01:45					13:45				
02:00					14:00				
02:15					14:15				
02:30					14:30				
02:45					14:45				
03:00					15:00				
03:15					15:15				
03:30					15:30				
03:45					15:45				
04:00					16:00				
04:15					16:15				
04:30					16:30				
04:45					16:45				
05:00					17:00				
05:15					17:15				
05:30					17:30				
05:45					17:45				
06:00					18:00				
06:15					18:15				
06:30					18:30				
06:45					18:45				
07:00					19:00				
07:15					19:15				
07:30					19:30				
07:45					19:45				
08:00					20:00				
08:15					20:15				
08:30					20:30				
08:45					20:45				
09:00					21:00				
09:15					21:15				
09:30					21:30				
09:45					21:45				
10:00					22:00				
10:15					22:15				
10:30					22:30				
10:45					22:45				
11:00					23:00				
11:15					23:15				
11:30					23:30				
11:45					23:45				

Total Vol.

Daily Totals

NB	SB	EB	WB	Combined
----	----	----	----	----------

AM

PM

Split %

Peak Hour

Volume

P.H.F.

City:

Project #:

Location:

AM Period	NB	SB	EB	WB	PM Period	NB	SB	EB	WB
00:00					12:00				
00:15					12:15				
00:30					12:30				
00:45					12:45				
01:00					13:00				
01:15					13:15				
01:30					13:30				
01:45					13:45				
02:00					14:00				
02:15					14:15				
02:30					14:30				
02:45					14:45				
03:00					15:00				
03:15					15:15				
03:30					15:30				
03:45					15:45				
04:00					16:00				
04:15					16:15				
04:30					16:30				
04:45					16:45				
05:00					17:00				
05:15					17:15				
05:30					17:30				
05:45					17:45				
06:00					18:00				
06:15					18:15				
06:30					18:30				
06:45					18:45				
07:00					19:00				
07:15					19:15				
07:30					19:30				
07:45					19:45				
08:00					20:00				
08:15					20:15				
08:30					20:30				
08:45					20:45				
09:00					21:00				
09:15					21:15				
09:30					21:30				
09:45					21:45				
10:00					22:00				
10:15					22:15				
10:30					22:30				
10:45					22:45				
11:00					23:00				
11:15					23:15				
11:30					23:30				
11:45					23:45				

Total Vol.

Daily Totals				
NB	SB	EB	WB	Combined

Split %	AM	PM
Peak Hour		
Volume		
P.H.F.		

City:

Project #:

Location:

AM Period	NB	SB	EB	WB	PM Period	NB	SB	EB	WB
00:00					12:00				
00:15					12:15				
00:30					12:30				
00:45					12:45				
01:00					13:00				
01:15					13:15				
01:30					13:30				
01:45					13:45				
02:00					14:00				
02:15					14:15				
02:30					14:30				
02:45					14:45				
03:00					15:00				
03:15					15:15				
03:30					15:30				
03:45					15:45				
04:00					16:00				
04:15					16:15				
04:30					16:30				
04:45					16:45				
05:00					17:00				
05:15					17:15				
05:30					17:30				
05:45					17:45				
06:00					18:00				
06:15					18:15				
06:30					18:30				
06:45					18:45				
07:00					19:00				
07:15					19:15				
07:30					19:30				
07:45					19:45				
08:00					20:00				
08:15					20:15				
08:30					20:30				
08:45					20:45				
09:00					21:00				
09:15					21:15				
09:30					21:30				
09:45					21:45				
10:00					22:00				
10:15					22:15				
10:30					22:30				
10:45					22:45				
11:00					23:00				
11:15					23:15				
11:30					23:30				
11:45					23:45				

Total Vol.

		Daily Totals					
		NB	SB	EB	WB	Combined	
		AM			PM		
Split %							
Peak Hour							
Volume							
P.H.F.							

Attachment C.5 - 2016 Count Data (Mtn View and Beck)

Unit Type:	PicoCount 2500 V2.30	Unit Type:	PicoCount 2500 V2.30
Serial Number:	13060357	Serial Number:	13011040
ID:	TW #7	ID:	TW #1
Location:	Mountain View Drive	Location:	Beck Dr
Comments:		Comments:	
Dwell:	108 ms	Dwell:	108 ms
Measurements:	English	Measurements:	English
Start Date:	42598	Start Date:	42598
Start Time:	0	Start Time:	0
Export Version:	Volume V1.03	Export Version:	Volume V1.03
Interval:	60 Min	Interval:	60 Min
Title:	Vehicle Volume	Title:	Vehicle Volume
Date/Time	Northbound	Date/Time	Northbound
08/16/2016 00:00 - 00:55		08/16/2016 00:00 - 00:55	6
08/16/2016 01:00 - 01:55		08/16/2016 01:00 - 01:55	3
08/16/2016 02:00 - 02:55		08/16/2016 02:00 - 02:55	1
08/16/2016 03:00 - 03:55		08/16/2016 03:00 - 03:55	1
08/16/2016 04:00 - 04:55		08/16/2016 04:00 - 04:55	5
08/16/2016 05:00 - 05:55		08/16/2016 05:00 - 05:55	6
08/16/2016 06:00 - 06:55		08/16/2016 06:00 - 06:55	18
08/16/2016 07:00 - 07:55		08/16/2016 07:00 - 07:55	27
08/16/2016 08:00 - 08:55		08/16/2016 08:00 - 08:55	16
08/16/2016 09:00 - 09:55		08/16/2016 09:00 - 09:55	29
08/16/2016 10:00 - 10:55		08/16/2016 10:00 - 10:55	38
08/16/2016 11:00 - 11:55		08/16/2016 11:00 - 11:55	41
08/16/2016 12:00 - 12:55		08/16/2016 12:00 - 12:55	52
08/16/2016 13:00 - 13:55		08/16/2016 13:00 - 13:55	36
08/16/2016 14:00 - 14:55		08/16/2016 14:00 - 14:55	43
08/16/2016 15:00 - 15:55		08/16/2016 15:00 - 15:55	44
08/16/2016 16:00 - 16:55		08/16/2016 16:00 - 16:55	31
08/16/2016 17:00 - 17:55		08/16/2016 17:00 - 17:55	30
08/16/2016 18:00 - 18:55		08/16/2016 18:00 - 18:55	27
08/16/2016 19:00 - 19:55		08/16/2016 19:00 - 19:55	27
08/16/2016 20:00 - 20:55		08/16/2016 20:00 - 20:55	19
08/16/2016 21:00 - 21:55		08/16/2016 21:00 - 21:55	19
08/16/2016 22:00 - 22:55		08/16/2016 22:00 - 22:55	7
08/16/2016 23:00 - 23:55		08/16/2016 23:00 - 23:55	13
08/17/2016 00:00 - 00:55		08/17/2016 00:00 - 00:55	9
08/17/2016 01:00 - 01:55		08/17/2016 01:00 - 01:55	2
08/17/2016 02:00 - 02:55		08/17/2016 02:00 - 02:55	0
08/17/2016 03:00 - 03:55		08/17/2016 03:00 - 03:55	3
08/17/2016 04:00 - 04:55		08/17/2016 04:00 - 04:55	2
08/17/2016 05:00 - 05:55		08/17/2016 05:00 - 05:55	9
08/17/2016 06:00 - 06:55		08/17/2016 06:00 - 06:55	29
08/17/2016 07:00 - 07:55		08/17/2016 07:00 - 07:55	39
08/17/2016 08:00 - 08:55		08/17/2016 08:00 - 08:55	26
08/17/2016 09:00 - 09:55		08/17/2016 09:00 - 09:55	32
08/17/2016 10:00 - 10:55		08/17/2016 10:00 - 10:55	39
08/17/2016 11:00 - 11:55		08/17/2016 11:00 - 11:55	46
08/17/2016 12:00 - 12:55		08/17/2016 12:00 - 12:55	39
08/17/2016 13:00 - 13:55		08/17/2016 13:00 - 13:55	43
08/17/2016 14:00 - 14:55		08/17/2016 14:00 - 14:55	28
08/17/2016 15:00 - 15:55		08/17/2016 15:00 - 15:55	49
08/17/2016 16:00 - 16:55		08/17/2016 16:00 - 16:55	35
08/17/2016 17:00 - 17:55		08/17/2016 17:00 - 17:55	27
08/17/2016 18:00 - 18:55		08/17/2016 18:00 - 18:55	40
08/17/2016 19:00 - 19:55		08/17/2016 19:00 - 19:55	27
08/17/2016 20:00 - 20:55		08/17/2016 20:00 - 20:55	31
08/17/2016 21:00 - 21:55		08/17/2016 21:00 - 21:55	26
08/17/2016 22:00 - 22:55		08/17/2016 22:00 - 22:55	12
08/17/2016 23:00 - 23:55		08/17/2016 23:00 - 23:55	12
08/18/2016 00:00 - 00:55		08/18/2016 00:00 - 00:55	6
08/18/2016 01:00 - 01:55		08/18/2016 01:00 - 01:55	8
08/18/2016 02:00 - 02:55		08/18/2016 02:00 - 02:55	7
08/18/2016 03:00 - 03:55		08/18/2016 03:00 - 03:55	1
08/18/2016 04:00 - 04:55		08/18/2016 04:00 - 04:55	3
08/18/2016 05:00 - 05:55		08/18/2016 05:00 - 05:55	10
08/18/2016 06:00 - 06:55		08/18/2016 06:00 - 06:55	16
08/18/2016 07:00 - 07:55		08/18/2016 07:00 - 07:55	27
08/18/2016 08:00 - 08:55		08/18/2016 08:00 - 08:55	21
08/18/2016 09:00 - 09:55		08/18/2016 09:00 - 09:55	18
08/18/2016 10:00 - 10:55		08/18/2016 10:00 - 10:55	28
08/18/2016 11:00 - 11:55		08/18/2016 11:00 - 11:55	29
08/18/2016 12:00 - 12:55		08/18/2016 12:00 - 12:55	26
08/18/2016 13:00 - 13:55		08/18/2016 13:00 - 13:55	19
08/18/2016 14:00 - 14:55		08/18/2016 14:00 - 14:55	37
08/18/2016 15:00 - 15:55		08/18/2016 15:00 - 15:55	48
08/18/2016 16:00 - 16:55		08/18/2016 16:00 - 16:55	37
08/18/2016 17:00 - 17:55		08/18/2016 17:00 - 17:55	42
08/18/2016 18:00 - 18:55		08/18/2016 18:00 - 18:55	27
08/18/2016 19:00 - 19:55		08/18/2016 19:00 - 19:55	38
08/18/2016 20:00 - 20:55		08/18/2016 20:00 - 20:55	26
08/18/2016 21:00 - 21:55		08/18/2016 21:00 - 21:55	24
08/18/2016 22:00 - 22:55		08/18/2016 22:00 - 22:55	21
08/18/2016 23:00 - 23:55		08/18/2016 23:00 - 23:55	11

Baughman & Turner, Inc.

Consulting Engineers & Land Surveyors

1210 HINSON ST.

PHONE (702) 870-8771

LAS VEGAS, NEVADA 89102-1604

FAX (702) 878-2695

June 10, 2016

City of Reno Community Development

P.O. Box 1900

Reno, NV 89501

RE: Mountain View Skilled Nursing

To Whom it May Concern;

Please accept this letter as our justification for over parking of the above referenced proposed skilled nursing facility. The planned facility lies south of the intersection of Mountain View Drive and Audubon Way in Reno, Nevada. As noted on the attached site plan, the total parking required is 55 spaces. This is based on a rate of 1 space per 6.6 beds plus 40 employee spaces for skilled nursing use and a medical office use rate of 1 space per 165 square feet ratio. The total parking provided are 85 spaces of which 5 are handicap spaces. There are 25 surplus standard spaces.

In a meeting with City Councilwoman Naomi Duerr, she mentioned that it was her experience that the existing skilled nursing facilities were significantly under parked and suggested that we visit some local facilities. A field visit to two local skilled nursing facilities indicated that those facilities were, indeed, under parked.

Additionally, In a justification letter dated September 4, 2015 to Mr. Jeffrey Borchardt with the City of Reno Community Development, by Paul Solaegui, P.E., the parking calculations for skilled nursing do not take into account the higher staffing levels required at a skilled nursing facility. Skilled nursing facilities, in general, are facilities whose primary function is to provide care for persons who are unable to care for themselves. Skilled nurses and nursing aides are present 24 hours a day. In the above referenced letter, Mr. Solaegui cites a California traffic and parking study that supports the high employee count needed for operation of these types of facilities. Mr. Solaegui found that the California study, which was based on observation at several sites, supported the additional employee parking spaces and was "both responsible and justified."

June 9, 2016
Mountain View Skilled Nursing
Page 2 of 2

We believe that the over parking provided with this proposed development has been justified and is necessary for the functional daily operation of the skilled nursing facility.

Respectfully submitted,
Baughman & Turner, Inc.

Pamela Pitcher
Traffic Manager

PJP/po

attachments



K.D. Anderson & Associates, Inc.
Transportation Engineers

July 7, 2015

Granite Development LLC
c/o Audrey Mills, Kitchell
100 E. San Marcos Boulevard, Suite 200
San Marcos, CA 92069

RE: PARKING DEMAND AND TRIP GENERATION ANALYSIS FOR SKILLED NURSING FACILITIES

Dear Ms. Mills:

Thank you for contacting our firm regarding the Skilled Nursing facilities being constructed by Granite Development at various locations in the Western United States. As we have discussed, these projects offer around the clock care in a residential setting. You have asked for our assistance in identifying the amount of vehicular traffic that would be extended to accompany these projects (i.e., trip generation), as well as the on-site parking demands that can be expected at peak times.

To respond to your request we have reviewed published materials relating to the trip generation characteristics of these types of uses, and we have monitored traffic and parking demands at four similar facilities. The results of our research and observations have been used to identify daily and peak hour trip generation rates and parking demand ratios that can be applied to new projects developed by Granite Development.

Survey Locations. To assess the trip generation and parking demand characteristic of any business it is necessary to isolate its travel and parking demand from that associated with neighboring businesses. Thus while many skilled nursing facilities exist throughout the United States, only "free-standing" facilities with isolated access and an identifiable on-site parking supply could be monitored. We reviewed a list of facilities you provided to identify those locations where the combination of site access and limited off-site parking will allow us to clearly identify project traffic and parking. We reviewed each site using Google Maps and rejected those locations where other traffic may use site access. We also rejected locations where the facility's parking supply is shared with adjoining businesses or where project parking demands might spill over onto adjoining on-street parking areas.

The four sites that were reviewed are listed in Table 1. As noted, the size of each facility, measured in terms of beds, employees and building square footage varies greatly. In terms of building floor area, the smallest facility had a building floor area of 28,000 sf, while the largest occupied 55,280 sf. The number of beds ranged from 80 to 176. Total employment ranged from a low of 114 persons to a high of 251 persons. The facilities all have high occupancy rates when this survey was conducted (i.e., 88% to 98% occupancy).

Granite Development LLC
c/o Audrey Mills, Kitchell
July 7, 2015
Page 2

TABLE 1 SKILLED NURSING FACILITIES SELECTED FOR EVALUATION					
County	Facility Name	Address	# of Beds	Building Square Footage	Number of Employees
Placer	Westview Healthcare Center	12225 Shale Ridge Road, Auburn, CA 95602	176	55,280	251
Placer	Rock Creek Care Center	260 Racetrack Street, Auburn, CA 95603	80	19,000	114
Nevada	Crystal Ridge Care Center	396 Dorsey Drive, Grass Valley, CA 95945	99	31,856	163
Sacramento	Whitney Oaks Care Center	3529 Walnut Avenue, Carmichael, CA 95608	125	28,000	215

KDA

Trip Generation. Video cameras were installed near the access to each facility and the volume of traffic entering and exiting was monitored on an hourly basis. Data was collected over three days that were selected to capture both typical employee travel and peak guest visitation. The traffic counts were conducted on Friday June 12, Saturday June 13 and Sunday June 14, 2015. This data is summarized in the attached spreadsheets.

This data was initially reviewed to determine whether the data and parameters may be an applicable indicator for future facilities. The relationship between trips and site parameters was reviewed in terms of the statistical *coefficient of determination*, or *R2* value. Those data sets with a high degree of correlation would have a *R2* value approaching 1.00. The *R2* value drops with less correlation, and the Institute of Transportation Engineers (ITE) Trip Generation handbook suggests that data with an *R2* value below 0.75 is less desirable.

Trip Generation Rates. Tables 2 thru 4 identify the number of daily and peak hour trips observed at each location as well as resulting generation rates on a "per building ksf", "per bed" and "per employee" basis. The average result from the four locations is also presented. Those data sets with *R2* value greater than 0.75 are highlighted in green.

As shown, the applicability of the data for forecasting purposes has been judged based on the *R2* value. In general there appears to be little correlation between trip generation and building square footage as evidenced from very low *R2* values. Because no data based on building size results in a *R2* that reaches the 0.75 threshold, this parameter has not been used. The effects of occupancy on correlation were reviewed, but because the occupancy rates are similar, no appreciable benefit was derived. When two or more *R2* values exceed the 0.75 threshold, multiple regression equations were identified for predicting trip generation. The forecasts derived from these equations became the third predictor that was then averaged with the results of the other two parameters (i.e., per bed and per employee rates) to yield the final trip generation forecast.

Prototype Trip Generation. Table 5 applies the resulting average trip generation rates for each parameter and the multiple regression equations, to the assumptions for your "prototypical" facility. The prototype assumes:

Total building floor area:	37.9 ksf
Total number of beds:	59 beds
Total employment:	120 persons on payroll

As shown, the prototypical facility would be expected to generate 242 daily trips (i.e., 1/2 in and 1/2 out) with 13 trips occurring in the a.m. peak hour (7:00 to 9:00 a.m.) and 15 trips generated in the p.m. peak hour (i.e., 4:00 to 6:00 p.m.). A total of 29 trips are expected during the highest volume hour of a weekday, while 24 and 30 trips are expected on the highest volume hour of a Saturday and a Sunday, respectively.

Published Information. I reviewed trip generation rates contained in the Institute of Transportation Engineers (ITE) publication *Trip Generation, 9th Edition* to determine whether any published information is available for Skilled Nursing Facilities. No data is published for Skilled Nursing Facilities, and the closest available land use type is "Assisted Living Facility". Assisted living facilities

KDA

Granite Development LLC
c/o Audrey Mills, Kitchell
July 7, 2015
Page 4

typically provide care for longer time periods and would provide lesser rehabilitation services. Visitation would likely be less and the number of employees would likely be fewer than for a Skilled Nursing facility. As a result, we would expect that the trip generation forecasts based on the ITE Assisted Living rates would be lower than those derived from our observations. This conclusion is supported by the forecasts for a 59 bed Assisted Living Facility presented in Table 5.

KDA

Granite Development LLC
c/o Audrey Mills, Kitchell
July 7, 2015
Page 5

TABLE 2 WEEKDAY A.M. AND P.M. PEAK HOUR TRIP GENERATION RATES										
Parameter	Friday AM Peak Hour					Friday PM Peak Hour				
	Shale Ridge Rd, Auburn	Racetrack St, Auburn	Dorsey Dr, Grass Valley	Walnut Ave, Carmichael	R2 Average	Shale Ridge Rd, Auburn	Racetrack St, Auburn	Dorsey Dr, Grass Valley	Walnut Ave, Carmichael	R2 Average
Trips	36	18	9	23		23	23	17	35	
Ksf	55.3	19.0	31.9	28.0	0.524	55.3	19.0	31.9	28.0	0.026
Rate per ksf	0.65	0.95	0.28	0.82	0.68	0.42	1.21	0.53	1.25	0.85
Beds	176	80	99	125	0.753	176	80	99	125	0.039
Rate per bed	0.20	0.23	0.09	0.18	0.18	0.13	0.29	0.17	0.28	0.22
Occupied Bed	161	73	88	122	0.771	161	73	88	122	0.093
Rate per Occupied bed	0.22	0.25	0.10	0.19	0.25	0.14	0.32	0.19	0.29	0.23
Employees	251	114	163	215	0.567	251	114	163	215	0.129
Rate per employee	0.14	0.16	0.06	0.11	0.12	0.09	0.20	0.10	0.16	0.14

Highlighted Data has R2 value greater than 0.75

TABLE 3 WEEKDAY DAILY AND PEAK HOUR OF GENERATOR TRIP GENERATION RATES										
Parameter	Friday Daily					Friday Peak Hour of Generator				
	Shale Ridge Rd, Auburn	Racetrack St, Auburn	Dorsey Dr, Grass Valley	Walnut Ave, Carmichael	R2 Average	Shale Ridge Rd, Auburn	Racetrack St, Auburn	Dorsey Dr, Grass Valley	Walnut Ave, Carmichael	R2 Average
Trips	674	262	309	547		85	26	33	79	
Ksf	55.3	19.0	31.9	28.0	0.647	55.3	19.0	31.9	28.0	0.475
Rate per ksf	12.19	13.79	9.69	19.54	13.80	1.54	1.37	1.03	2.82	1.69
Beds	176	80	99	125	0.962	176	80	99	125	0.804
Rate per bed	3.83	3.28	3.12	4.38	3.65	0.48	0.33	0.33	0.63	0.44
Employees	251	114	163	215	0.943	251	114	163	215	0.910
Rate per employee	2.69	2.30	1.90	2.54	2.36	0.34	0.23	0.20	0.37	0.28

Highlighted Data has R2 value greater than 0.75

KSDA

Granite Development LLC
c/o Audrey Mills, Kitchell
July 7, 2015
Page 6

TABLE 4
WEEKEND PEAK HOUR OF THE GENERATOR TRIP GENERATION RATES

Parameter	Saturday Peak Hour of Generator					Sunday Peak Hour of Generator				
	Shale Ridge Rd, Auburn	Racetrack St, Auburn	Dorsey Dr, Grass Valley	Walnut Ave, Carmichael	R2 Average	Shale Ridge Rd, Auburn	Racetrack St, Auburn	Dorsey Dr, Grass Valley	Walnut Ave, Carmichael	Average
Trips	65	26	33	53		57	38	41	51	
Ksf	55.3	19.0	31.9	28.0	0.699	55.3	19.0	31.9	28.0	0.676
Rate per ksf	1.18	1.37	1.03	1.89	1.37	1.03	2.00	1.29	1.82	1.53
Beds	176	80	99	125	0.938	176	80	99	125	0.939
Rate per bed	0.37	0.33	0.34	0.42	0.36	0.32	0.48	0.41	0.41	0.41
Employees	251	114	163	215	0.968	251	114	163	215	0.960
Rate per employee	0.26	0.23	0.20	0.25	0.23	0.34	0.33	0.25	0.24	0.26

Highlighted Data has R2 value greater than 0.75

TABLE 5
PROTOTYPICAL PROJECT TRIP GENERATION FORECASTS

Parameter	Friday				Saturday	Sunday
	AM Peak Hour	PM Peak Hour	Daily	Peak Hour of Generator	Peak Hour of Generator	Peak Hour of Generator
Beds	59	59	59	59	59	59
Rate per bed	0.18	0.22	3.65	0.44	0.36	0.41
Trips	11	13	215	26	21	24
Total Employees	120	120	120	120	120	120
Rate per employee	0.12	0.14	2.54	0.28	0.23	0.26
Trips	14	17	305	34	28	31
Regression Equation Results (beds+employees)	-	-	207	26	22	36
Average Result from All Parameters	13	15	242	29	24	30
ITE Skilled Nursing -- 59 beds	8	13	211	24	19	22

KD

Parking Demand. We determined the hourly parking accumulation at each site over the three survey days through video monitoring. The number of cars parked at the site was determined when the driveway count began and the net inbound and outbound trip generation each hour was used to calculate the resulting parking total for subsequent hours. The greatest number of parked vehicles in any hour was identified as the "maximum" parking accumulation, as noted in the attached spread sheets.

Parking Demand Rates. Tables 6, 7 and 8 compare the maximum parking accumulation at each site with the site parameters introduced in the discussion of trip generation. Resulting Parking demand rates were calculated on a "per ksf", "per bed" and "per employee" basis. R2 values were calculated and data sets with low R2 were abandoned. Where the R2 value was applicable, regression equations results were also employed.

Prototype Trip Generation. Table 9 applies the average parking demand rates for each parameter plus regression results to the assumptions for your "prototypical" facility.

As shown, the prototypical facility would be expected to have a maximum of 33 vehicles parked on site on a weekday. The maximum parking accumulation would be 38 vehicles on a Saturday and 36 vehicles on a Sunday.

Published Information. I reviewed parking demand rates contained in the Institute of Transportation Engineers (ITE) publication *Parking Generation, 3rd Edition* to determine whether any published information is available for Skilled Nursing Facilities. No data is published for Skilled Nursing Facilities, and the closest available land use type is "Assisted Living Facility". Because Assisted Living facilities typically provide care for longer time periods and fewer rehabilitation services, visitation would likely be less and the number of employees would likely be fewer than for a Skilled Nursing Facility. As a result, we would expect that the parking demand forecasts based on the ITE Assisted Living rates would be lower than those derived from our observations. This conclusion is supported by the forecasts for a hypothetical 59 bed Assisted Living Facility presented in Table 9.

TABLE 6 PEAK WEEKDAY PARKING DEMAND					
Parameter	Friday				
	Shale Ridge Rd, Auburn	Racetrack St, Auburn	Dorsey Dr, Grass Valley	Walnut Ave, Carmichael	R2 Average
Parked Vehicles	96	37	36	83	
Ksf	55.3	19	31.9	28.0	0.510
Rate per ksf	1.74	1.95	1.13	2.96	1.95
Beds	176	80	99	125	0.839
Rate per bed	0.55	0.46	0.36	0.66	0.51
Occupied beds	161	73	88	122	0.910
Rate per Occupied bed	0.60	0.51	0.41	0.68	0.55
Employees	251	114	163	215	0.873
Rate per employee	0.38	0.32	0.22	0.39	0.33
Highlighted Data has R2 value greater than 0.75					

KDA

**TABLE 7
PEAK SATURDAY PARKING DEMAND**

Parameter	Saturday				
	Shale Ridge Rd, Auburn	Racetrack St, Auburn	Dorsey Dr, Grass Valley	Walnut Ave, Carmichael	R2 Average
Parked Vehicles	64	29	35	61	
Ksf	55.3	19	31.9	28.0	0.694
Rate per ksf	1.16	1.53	1.10	2.18	1.49
Beds	176	80	99	125	0.802
Rate per bed	0.36	0.36	0.35	0.49	0.39
Occupied Bed	161	73	88	122	0.881
Rate per Occupied bed	0.40	0.40	0.40	0.50	0.42
Employees	251	114	163	215	0.926
Rate per employee	0.26	0.25	0.21	0.28	0.25
Highlighted Data has R2 value greater than 0.75					

**TABLE 8
PEAK SUNDAY PARKING DEMAND**

Parameter	Sunday				
	Shale Ridge Rd Auburn	Racetrack St, Auburn	Dorsey Dr, Grass Valley	Walnut Ave, Carmichael	R2 Average
Parked Vehicles	68	31	41	36	
Ksf	55.3	19	31.9	28.0	0.984
Rate per ksf	1.23	1.63	1.29	1.29	1.36
Beds	176	80	99	125	0.837
Rate per bed	0.39	0.39	0.41	0.29	0.37
Occupied Bed	161	73	88	122	0.746
Rate per Occupied bed	0.42	0.42	0.47	0.30	0.40
Employees	251	114	163	215	0.617
Rate per employee	0.27	0.27	0.25	0.17	0.24
Highlighted Data has R2 value greater than 0.75					

KDA

**TABLE 9
PROTOTYPICAL PARKING DEMAND**

Parameter	Day		
	Weekday	Saturday	Sunday
Ksf	-	-	37.9
Rate per ksf	-	-	1.36
Parked Cars	-	-	52
Beds	59	59	59
Rate per bed	0.51	0.39	0.37
Parked Cars	30	23	22
Employees	120	120	120
Rate per employee	0.33	0.25	0.24
Parked Cars	40	30	29
Regression Equation Results (beds+employees)	28	30	-
Regression Equation Results (ksf + beds)	-	-	42
Average Result from All 4 parameters	33	28	36
ITE Skilled Nursing Facility – Ave peak - 59 beds	24	24	20
ITE Skilled Nursing Facility – 85 th percentile - 59 beds	32	18	28

Thank you for this opportunity to provide you with our services. Please feel free to contact me if you have any questions or need additional information.

Sincerely,

KD Anderson & Associates, Inc.



Kenneth D. Anderson, P.E.
President

Attachments

KDA

APPENDIX D – Approval Letters and Exhibits

- Exhibit A – Conditions
- Exhibit D – Required Memory Care Services
- City Clerks Letter RE: Approval of Case No. LDC11-00017 (Sierra Senior Care)
- City Clerks Letter RE: Certification of PUD Handbook, LDC11-00017
- City Clerks Letter RE: Adoption of Ordinance No. 6172, LDC11-00017
- Copy of Ordinance No. 6172, LDC11-00017
- City Clerks Letter RE: Approval of Case No. LDC15-00029
- City Clerks Letter RE: Adoption of Ordinance No. 6362, LDC15-00029
- Copy of Ordinance No. 6362, LDC15-00029
- City Clerks Letter RE: Certification of PUD Handbook, LDC15-00029
- City Clerks Letter RE: Approval of Case No. LDC17-00049
- City Clerks Letter RE: Adoption of Ordinance No. 6437
- City Clerks Letter RE: Certification of PUD Handbook



EXHIBIT "A"

DISTRICT HEALTH DEPARTMENT

ENVIRONMENTAL HEALTH SERVICES DIVISION

October 21, 2010

City of Reno
Community Development
C/O Vern Kloos
450 Sinclair Street
Reno, NV 89505

Dear Vern,

After having reviewed the Planned Unit Development from Sierra Senior Care (LDC11-00017), please be advised of the following conditions.

1. To minimize nuisance water runoff from landscape design with turf a Low Impact Design (LID) such as a catchment area from the back face of impervious surfaces will be required to capture nuisance water runoff (040.011).
2. District Health will require in the proposed detention basin a cobble line (4-6 inch rock) low flow channel one foot deep 2-3 feet wide connecting the inlet (or inlets) to the outlet pipe. In addition over excavating below the low flow channel with an infiltration trench 2 feet wide 3 feet deep below the low flow channel is required to reduce the impacts of down stream runoff. If vegetation is planted in the detention basin no planting shall occur within one foot on either side of the low flow channel.
3. Improvements will be required if any existing overland ditches are utilized for storm water conveyance.
4. The following language shall be noted on the civil plans for maintenance of the detention basin. "All vegetation, debris and blockages in the low flow channel shall require removal annually. The maintenance plan will mitigate insect development by preventing standing water from ponding longer than seven (7) days."
5. If drop inlets are utilized in the infrastructure for the project a design such as a treatment vault with sumpless catch basins will improve water quality of down stream runoff and comply with District Health regulations (040.013).
6. Prior to approval of any grading and or civil plans the above design details will be required on the plans.

1001 EAST NINTH STREET / P.O. BOX 11130, RENO, NEVADA 89520 (775) 328-2434 FAX (775) 328-6176

www.washoecounty.us
WASHOE COUNTY IS AN EQUAL OPPORTUNITY EMPLOYER
PRINTED ON RECYCLED PAPER

If there are any questions concerning the aforementioned vector-planning conditions as it relates to environmental health, please call me at 785-4599.

Sincerely,



J. L. Shaffer

Planner Vector-Borne Diseases
Environmental Health Division

Memory Care services as follows:

EXHIBIT "D"

①

Food Service - Memory Care communities feature an Activity Kitchen for the familiarity of a kitchen in the house. Residents may work, complete chores and prepare dishes, with non-obtrusive supervision and support. Each neighborhood has its own dining room where residents may eat "family-style" or each plate will be served individually. Of course, all menus are professionally developed and meals are cooked on-site. Wonderful snacks, juices and teas are available 24-hours a day.

Basic Activities

- Family-style meals served three times daily and favorite snacks throughout the day.
- Opportunities for individual and group activities, including gardening, cooking, music movies and reminiscing.
- Our Personal Touch philosophy of memory care - a "friends taking care of friends" approach.
- Our friendly, affectionate "house" and "visiting" pets; which bring companionship, joy and loyalty to our residents.
- Availability of scheduled outings for doctor's appointments and excursions.
- A beauty/barber shop on site.

Personal Touch Activities

- Dementia-specific activities, such as memory boxes and scrapbooks.
- Exercise programs including stretching, walking, and balance.
- Stress-free classes ranging from patterning to sensory stimulation.
- Programs that encourage intergenerational relationships and community involvement.
- Spiritual opportunities for people of all religions.
- Creative arts and music activities that include rhythm, singing, and listening.

It should be noted that this list is not all inclusive and may be modified as the desires and expectations of the clients change.

Assisted Living services as follows:

②

Assisted Living community, residents will enjoy all of the features, benefits, and amenities expected from retirement living. These include three delicious meals each day, planned group activities, scheduled local transportation, weekly housekeeping and linen services, paid utilities (except telephone and extended cable television), a spacious studio, one or two bedroom apartments (where available) and a great team of care givers.

Basic Activities

- Three delicious home-cooked meals each day
- Library, Nintendo Wii, Craft Room and Card Room
- Housekeeping and maintenance services
- Personal office support
- Barber/Beauty Shop and Laundry
- Scheduled transportation
- Mail and newspaper delivery
- Common areas
- Parking BBQ area
- On-site postal services
- In-house movies

Let me know if you need anything else.

Ken.

It should be noted that this list is not all inclusive and may be modified as the desires and expectations of the clients change.

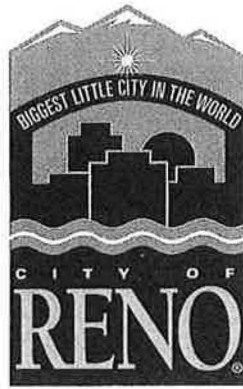
11/15/2010

Lynnette R. Jones

City Clerk
(775) 334-2030
jonesl@reno.gov

Carmi D. Gundersen

Chief Deputy City Clerk
(775) 334-2030
gundersenc@reno.gov



Office of the City Clerk

Central Cashiering (775)334-2032
Parking Tickets (775)334-2279



January 24, 2011

Ken Krater
Beck Street Plaza
226 California Ave.
Reno, NV 89509

FILED THIS DATE
1/24/11
BY: [Signature]
CITY CLERK

RE: Case No. LDC11-00017 (Sierra Senior Care)

Dear Applicant:

At a regular meeting held January 19, 2011, and following a public hearing thereon, the City Council upheld the recommendation of the Planning Commission and approved the request for a zoning map amendment from ± 1.91 acres of MF30 (Multifamily - 30 du/ac), ± 2.68 acres of SF9 (Single Family Residential - 9,000 square feet) and $\pm .5$ acres of SF15 (Single Family - 15,000 square feet) to ± 5.09 acres of PUD (Planned Unit Development) to allow for development, in 3 phases, of a senior living facility (ages 55 or older) containing 48 memory care beds, 94 beds for assisted living and/or skilled nursing facilities and 12 one to two bedroom independent living units on a ± 5.09 acre site located along the south side of Mountain View Drive south of its intersection with Audubon Way and north of the west terminus of Beck Street, by ordinance, subject to Condition A, as follows:

- A. Approval of the Sierra Senior Care Planned Unit Development is subject to the Conditions contained in Exhibit A, addition to the PUD Handbook of the amenities listed in Exhibit D and any modifications made by the Planning Commission and City Council at their respective public hearings. The revisions shall be incorporated into the PUD Handbook and submitted to staff in both paper and two electronic versions (PDF and Word) for review within two (2) months of the date of City Council approval of the zoning map amendment. The PUD shall be approved and certified by the City Council within four (4) months of the date of approval of the zoning map amendment. Failure by the applicant to conform with either time deadline shall render this approval null and void.

Ken Krater, Beck Street Plaza
Case No. LDC11-00017 (Sierra Senior Care)
January 24, 2010
Page 2

Sincerely,

A handwritten signature in cursive script that reads "Carmi Henderson for". The signature is written in dark ink and is positioned above the typed name of the signatory.

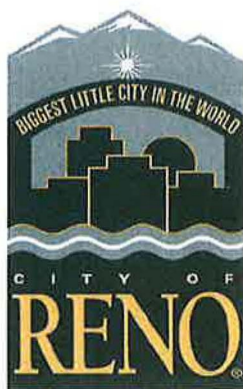
Lynnette R. Jones
City Clerk

LRJ:cdg

xc: Community Development
Traffic Design Engineer
Terry Zeller, Parks, Recreation & Community Services
Marchon Miller, Regional Transportation Commission

Lynnette R. Jones
City Clerk
(775) 334-2030
jonesl@ci.reno.nv.us

Carmi D. Gundersen
Chief Deputy City Clerk
(775) 334-2030
gundersen@ci.reno.nv.us



Office of the City Clerk
Central Casbiering (775) 334-2032
Parking Tickets (775) 334-2279

Steven D. Whitaker, CRM
Records Systems Manager
(775) 326-6633

February 11, 2011

Beck Street Plaza, LLC
Sierra Senior Care
Kenneth Krater
226 California Ave.
Reno, NV 89509



FILED THIS DATE
2 / 11 / 11
BY: [Signature]
CITY CLERK

RE: Case No. LDC11-00017 (Sierra Senior Care) – Certification of Handbook

Dear Applicant:

At a regular meeting held February 9, 2011, the City Council certified the Sierra Senior Care Planned Unit Development (PUD) Design Standards Handbook. The amendment was tentatively approved by City Council on January 19, 2011.

In order to effectuate the PUD, the handbook must be recorded at the Washoe County Recorder's Office in accordance with NRS 278A.

Sincerely,

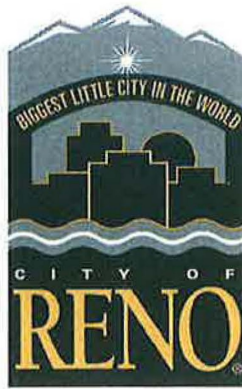
Lynnette R. Jones
City Clerk

LRJ:cdg

xc: Community Development
Traffic Design Engineer
Terry Zeller, Parks, Recreation & Community Services
Marchon Miller, Regional Transportation Commission

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Chief Deputy City Clerk
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gundersenc@reno.gov



Office of the City Clerk
Central Cashiering (775) 334-2032
Parking Tickets (775) 334-2279



February 11, 2011

Ken Krater
Beck Street Plaza
226 California Ave.
Reno, NV 89509

FILED THIS DATE
21 14 11
BY: cdg
CITY CLERK

RE: Case No. LDC11-00017 (Sierra Senior Care) - **NOTICE OF FINAL ACTION,
DECISION OR ORDER**

Dear Applicant:

At a regular meeting held February 9, 2011, the City Council passed and adopted Ordinance No. 6172 approving the zoning map amendment for the above referenced case.

Sincerely,

Lynnette R. Jones
City Clerk

LRJ:cdg

xc: Community Development
Traffic Design Engineer
Terry Zeller, Parks, Recreation & Community Services
Marchon Miller, Regional Transportation Commission

EXPLANATION: *Matter in italics is new*; Matter in brackets [] is material to be omitted.

BILL NO. 6732

ORDINANCE NO. 6172

AN ORDINANCE TO AMEND TITLE 18, CHAPTER 18.08 OF THE RENO MUNICIPAL CODE, ENTITLED "ZONING," REZONING A ± 5.09 ACRE SITE LOCATED ALONG THE SOUTH SIDE OF MOUNTAIN VIEW DRIVE SOUTH OF ITS INTERSECTION WITH AUDUBON WAY AND NORTH OF THE WEST TERMINUS OF BECK STREET FROM ± 1.91 ACRES OF MF30 (MULTIFAMILY - 30 DU/AC), ± 2.68 ACRES OF SF9 (SINGLE FAMILY RESIDENTIAL - 9,000 SQUARE FEET) AND $\pm .5$ ACRES OF SF15 (SINGLE FAMILY - 15,000 SQUARE FEET) TO ± 5.09 ACRES OF PUD (PLANNED UNIT DEVELOPMENT); TOGETHER WITH OTHER MATTERS PROPERLY RELATING THERETO.

SPONSORED BY: RENO CITY PLANNING COMMISSION

THE CITY COUNCIL OF THE CITY OF RENO DO ORDAIN:

SECTION 1. Chapter 18.08 of the Reno Municipal Code is hereby amended by adding thereto a new section to be known as Section 18.08.102(b).1264 relating to a ± 5.09 acre site located along the south side of Mountain View Drive south of its intersection with Audubon Way and north of the west terminus of Beck Street and more particularly described in the attached "Exhibit A" and rezoning said property from ± 1.91 acres of MF30 (Multifamily - 30 du/ac), ± 2.68 acres of SF9 (Single Family Residential - 9,000 square feet) and $\pm .5$ acres of SF15 (Single Family - 15,000 square feet) to ± 5.09 acres of PUD (Planned Unit Development), the same to read as follows:

Sec. 18.08.102(b).1264. The zoning of the City of Reno as heretofore established is hereby amended in the manner shown on the map labeled Case No. LDC11-00017, thereby changing the use of land indicated therein, relating to a ± 5.09 acre site located along the south side of Mountain View Drive south of its intersection with Audubon Way and north of the west terminus of Beck Street and more particularly described in the attached "Exhibit A", and rezoning said property from ± 1.91 acres of MF30 (Multifamily - 30 du/ac), ± 2.68 acres of SF9 (Single Family Residential - 9,000 square feet) and $\pm .5$ acres of SF15 (Single Family - 15,000 square feet) to ± 5.09 acres of PUD (Planned Unit Development).

-1-

CASE NO. LDC11-00017 (Sierra Senior Care)
APN NO. 019-232-15, 16, 57 & 58

SECTION 2. This Ordinance shall be in effect from and after its passage, adoption and publication in one issue of a newspaper printed and published in the City of Reno.

SECTION 3. The City Clerk and Clerk of the City Council of the City of Reno is hereby authorized and directed to have this Ordinance published in one issue of the Reno-Gazette Journal, a newspaper printed and published in the City of Reno.

PASSED AND ADOPTED this 9th day of February, 2011, by the following vote of the Council:

AYES: Hascheff, Aiazzi, Gustin, Zadra, Sferrazza, Dortch, Cashell.


NAYS: None.

ABSTAIN: None. ABSENT: None.

APPROVED this 9th day of February, 2011.


MAYOR OF THE CITY OF RENO

ATTEST:


CITY CLERK AND CLERK OF THE CITY
COUNCIL OF THE CITY OF RENO, NEVADA



EFFECTIVE DATE: February 11, 2011

LDC11-00017 (Sierra Senior Care) - ord - VAK.doc

EXHIBIT "A"

DESCRIPTION

Parcels of land situate within the City of Reno, County of Washoe, State of Nevada, described as follows:

APN 019-232-15:

All that certain piece of land in Washoe County, Nevada, being in Section 23, T. 19 N., R. 19 E., M.D.B.&M., bounded and described as follows:

Commencing at a point on the East and West Section line of Section 23 at an iron pin, being the Northwest corner of a larger tract conveyed by SILVER J. CARANO, et ux. to all parties hereto by deed dated July 2, 1962, Deed Book 635 p. 356 of which this is a part; thence South 0°37'27" West 280.37 feet to a point; thence South 89°22'33" East 125 feet to a point; thence North 0°37'27" East 282.71 feet more or less to the East and West section line of Section 23 aforesaid; thence along said line South 89°16'59" West 125.03 feet more or less to the place of beginning.

Description being Parcel 1 of that deed recorded November 8, 2007 as Document No. 3592685, Official Records of Washoe County, Nevada.

APN 019-232-16:

All that certain piece of land in Washoe County, Nevada, being in Section 23, T. 19 N., R. 19 E., M.D.B.&M., bounded and described as follows:

Commencing at a point on the East and West Section line of Section 23 at the Northeast corner of land described in deed to JOHN and VICTORINE CARANO of this date; thence along the East line of JOHN CARANO land South 0°37'27" West 259 feet to a point at the northwest corner of land described in deed to MARIE CARANO of this date; thence along MARIE CARANO'S North line South 89°22'33" East 232.84 feet more or less to the West line of land of County of Washoe; thence along the County line North 1°09'30" East 120.17 feet to the South line of property now of ALBINA CARANO; thence South 89°15'38" West along the South line of ALBINA CARANO land and the South line of property now of RALPH and KATHLEEN HERRING 133.96 feet to a point; thence North 0°19'59" East along the West line of RALPH HERRING land 144.35 feet to the East and West Section line of Section 23 aforesaid; thence along said Section line South 89°16'59" West 99.30 feet more or less to the place of beginning. Description being Parcel 2 of that deed recorded November 8, 2007 as Document No. 3592685, Official Records of Washoe County, Nevada.

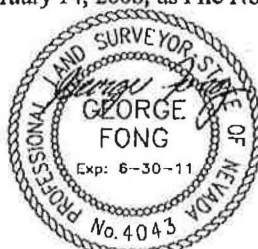
APN 019-232-57:

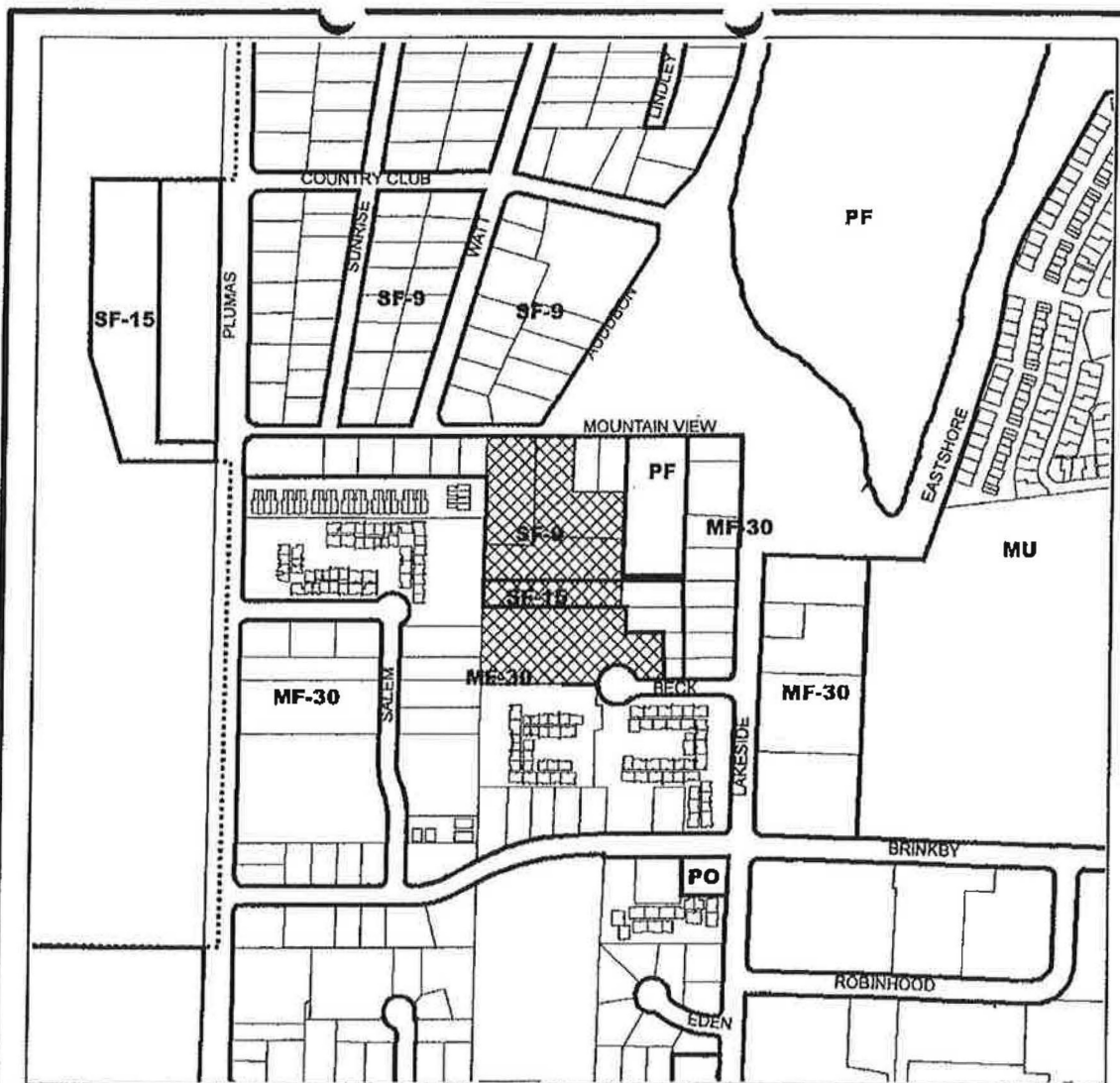
Parcel B of Record of Survey Map No. 4440, filed in the office of the County Recorder of Washoe County, State of Nevada on August 6, 2004, as File No. 3079751 of Official Records.

APN 019-232-58:


Parcel 1A of Record of Survey Map No. 5014, filed in the office of the County Recorder of Washoe County, State of Nevada on February 14, 2008, as File No. 3621045 of Official Records.


C and M Engineering
9498 Double R Boulevard, Suite B
Reno, NV 89521

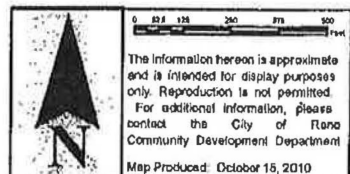




LDC11-00017
Sierra Senior Care

 Subject Site

 City Limits



Community Development Department

450 Sinclair Street Phone: 334-2063
 P.O. Box 1900 Fax: 334-2043
 Reno, NV 89506 www.cityofreno.com

AS: C:\LAUNCH\Planning Case Mgmt\11\LDC11 00017

Beverly Beaty-Benadom
Interim City Clerk
(775) 334-2030
Beaty-BenadomB@reno.gov



Office of the City Clerk
Central Cashiering (775) 334-2032
Parking Tickets (775) 334-2279

February 13, 2015

FILED THIS DATE

2 / 13 / 15
BY: BBB
CITY CLERK

Northern NV Community Housing
P.O. Box 20604
Reno, NV 89515

RE: Case No. LDC15-00029 (Sierra Senior Care Planned Unit Development Amendment) – Zoning Map Amendment

Dear Applicant:

At a regular meeting held February 11, 2015, and following a public hearing thereon, the City Council upheld the recommendation of the Planning Commission and approved the request for a zoning map amendment to amend the Sierra Senior Care Planned Unit Development (PUD) Handbook to add a two story, 44 unit multi-family development as an alternative to the assisted living/skilled nursing use designated for the south ± 1.91 acres of the ± 5.09 acre PUD, by ordinance, subject to Condition A. The ± 5.09 acre PUD is located in the area bounded by Mountain View Drive to the north just south of its intersection with Audubon Way and Beck Street to the east, in the PUD zone. The site has Master Plan land use designations of Mixed Residential (3-21 units/acre) and Urban Residential/Commercial.

CONDITION A:

Approval of the amendment to Sierra Senior Care PUD Handbook is subject to the modifications to the Handbook as noted in Exhibit A, and any modifications made by the Planning Commission and City Council at their respective public hearings. The revisions shall be incorporated into the Design Guidelines Handbook and submitted to staff in both paper and electronic versions for review within two (2) months of the date of City Council approval; and certified by the City Council within four (4) months of the date of City Council approval. Failure by the applicant to conform to either time deadline shall render this approval null and void.

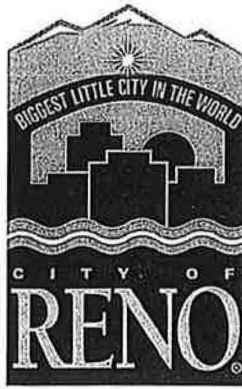
Sincerely,


Beverly Beaty-Benadom
Interim City Clerk

xc: Community Development
Vern Kloos, Community Development
Jeff Mann, Parks, Recreation & Community Services
Beck Street Plaza, LLC, 226 California Avenue, Reno NV 89509
Angela Fuss, CFA, 1150 Corporate Boulevard, Reno NV 89502

One East First Street, Second Floor*P.O. Box 7, Reno, NV 89504
www.reno.gov

Beverly Beaty-Benadom
Interim City Clerk
(775) 334-2030
Beaty-BenadomB@reno.gov



Office of the City Clerk
Central Cashiering (775) 334-2032
Parking Tickets (775) 334-2279

February 27, 2015

FILED THIS DATE
2 / 27 / 15
BY: BBB
CITY CLERK

Northern NV Community Housing
P.O. Box 20604
Reno, NV 89515

RE: Case No. LDC15-00029 (Sierra Senior Care Planned Unit Development Amendment) –
Zoning Map Amendment – ***NOTICE OF FINAL ACTION, DECISION OR ORDER***

Dear Applicant:

At a regular meeting held February 25, 2015, the City Council passed and adopted Ordinance No. 6362, approving the zoning map amendment for the above referenced case.

Sincerely,


Beverly Beaty-Benadom
Interim City Clerk

xc: Community Development
Vern Kloos, Community Development
Jeff Mann, Parks, Recreation & Community Services
Beck Street Plaza, LLC, 226 California Avenue, Reno NV 89509
Angela Fuss, CFA, 1150 Corporate Boulevard, Reno NV 89502

EXPLANATION: Matter underlined is new; matter in brackets and stricken [--] is material to be repealed.

BILL NO. 6931

ORDINANCE NO. 6362

ORDINANCE TO AMEND TITLE 18, CHAPTER 18.08 OF THE RENO MUNICIPAL CODE, ENTITLED "ZONING", SECTION 18.08.102(B).1318, TO CHANGE THE TEXT IN THE PUD HANDBOOK TO: ADD A TWO STORY, 44 UNIT MULTI-FAMILY DEVELOPMENT AS AN ALTERNATIVE TO THE ASSISTED LIVING/SKILLED NURSING USE DESIGNATED FOR THE SOUTH ± 1.91 ACRES OF THE ± 5.09 ACRE PUD LOCATED IN THE AREA BOUNDED BY MOUNTAIN VIEW DRIVE TO THE NORTH JUST SOUTH OF ITS INTERSECTION WITH AUDUBON WAY AND BECK STREET TO THE EAST IN A PUD (PLANNED UNIT DEVELOPMENT) ZONE; TOGETHER WITH OTHER MATTERS PROPERLY RELATING THERETO.

SPONSORED BY: RENO CITY PLANNING COMMISSION

THE CITY COUNCIL OF THE CITY OF RENO DOES ORDAIN:

SECTION 1. Chapter 18.08 of the Reno Municipal Code is hereby amended by adding thereto a new section to be known as Section 18.08.102(b).1318 relating to a ± 5.09 acre site located in the area bounded by Mountain View Drive to the north just south of its intersection with Audubon Way and Beck Street to the east, in the PUD zone and more particularly described in the attached "Exhibit A"; to change the text in the PUD Handbook to: add a two story, 44 unit multi-family development as an alternative to the assisted living/skilled nursing use designated for the south ± 1.91 acres of the ± 5.09 acre PUD, the same to read as follows:

Sec. 18.08.102(b).1318. The zoning of the City of Reno as heretofore established is hereby amended in the manner shown on the map labeled Case No. LDC15-00029, thereby changing the use of land indicated therein, relating to a ± 5.09 acre site located in the area bounded by Mountain View Drive to the north just south of its intersection with Audubon Way and Beck Street to the east, in the PUD zone, and more particularly described in the attached "Exhibit A"; to change the text in the PUD Handbook to: add a two story, 44 unit multi-family development as an alternative to the assisted living/skilled nursing use designated for the south ± 1.91 acres of the ± 5.09 acre PUD.

CASE NO. LDC15-00029 (Sierra Senior Care PUD Amendment)

-1-

SECTION 2. This Ordinance shall be in effect from and after its passage, adoption and publication in one issue of a newspaper printed and published in the City of Reno; and upon certification by City Council of the amended PUD Handbook for Case No. LDC15-0029 and recordation of the amended PUD Handbook for Case No. LDC15-00029.

SECTION 3. The City Clerk and Clerk of the City Council of the City of Reno is hereby authorized and directed to have this Ordinance published in one issue of the Reno-Gazette Journal, a newspaper printed and published in the City of Reno.

PASSED AND ADOPTED this 25th day of February, 2015, by the following vote of the Council:

AYES: Duerr, Jardon, Bobzien, Brekhus, Delgado, McKenzie

NAYS: None

ABSTAIN: None

ABSENT: Schieve

APPROVED this 25th day of February, 2015.



Hillary L. Schieve
Mayor of the City of Reno

ATTEST:



Beverly Beaty-Berallom
Interim City Clerk and Interim Clerk of the
City Council of the City of Reno, Nevada



EFFECTIVE DATE: February 27, 2015.

EXHIBIT "A"

DESCRIPTION

Parcels of land situate within the City of Reno, County of Washoe, State of Nevada, described as follows:

APN 019-232-15:

All that certain piece of land in Washoe County, Nevada, being in Section 23, T. 19 N., R. 19 E., M.D.B.&M., bounded and described as follows:

Commencing at a point on the East and West Section line of Section 23 at an iron pin, being the Northwest corner of a larger tract conveyed by SILVER J. CARANO, et ux. to all parties hereto by deed dated July 2, 1962, Deed Book 635 p. 356 of which this is a part; thence South 0°37'27" West 280.37 feet to a point; thence South 89°22'33" East 125 feet to a point; thence North 0°37'27" East 282.71 feet more or less to the East and West section line of Section 23 aforesaid; thence along said line South 89°16'59" West 125.03 feet more or less to the place of beginning.

Description being Parcel 1 of that deed recorded November 8, 2007 as Document No. 3592685, Official Records of Washoe County, Nevada.

APN 019-232-16:

All that certain piece of land in Washoe County, Nevada, being in Section 23, T. 19 N., R. 19 E., M.D.B.&M., bounded and described as follows:

Commencing at a point on the East and West Section line of Section 23 at the Northeast corner of land described in deed to JOHN and VICTORINE CARANO of this date; thence along the East line of JOHN CARANO land South 0°37'27" West 259 feet to a point at the northwest corner of land described in deed to MARIE CARANO of this date; thence along MARIE CARANO'S North line South 89°22'33" East 232.84 feet more or less to the West line of land of County of Washoe; thence along the County line North 1°09'30" East 120.17 feet to the South line of property now of ALBINA CARANO; thence South 89°15'38" West along the South line of ALBINA CARANO land and the South line of property now of RALPH and KATHLEEN HERRING 133.96 feet to a point; thence North 0°19'59" East along the West line of RALPH HERRING land 144.35 feet to the East and West Section line of Section 23 aforesaid; thence along said Section line South 89°16'59" West 99.30 feet more or less to the place of beginning.

Description being Parcel 2 of that deed recorded November 8, 2007 as Document No. 3592685, Official Records of Washoe County, Nevada.

APN 019-232-57:

Parcel B of Record of Survey Map No. 4440, filed in the office of the County Recorder of Washoe County, State of Nevada on August 6, 2004, as File No. 3079751 of Official Records.

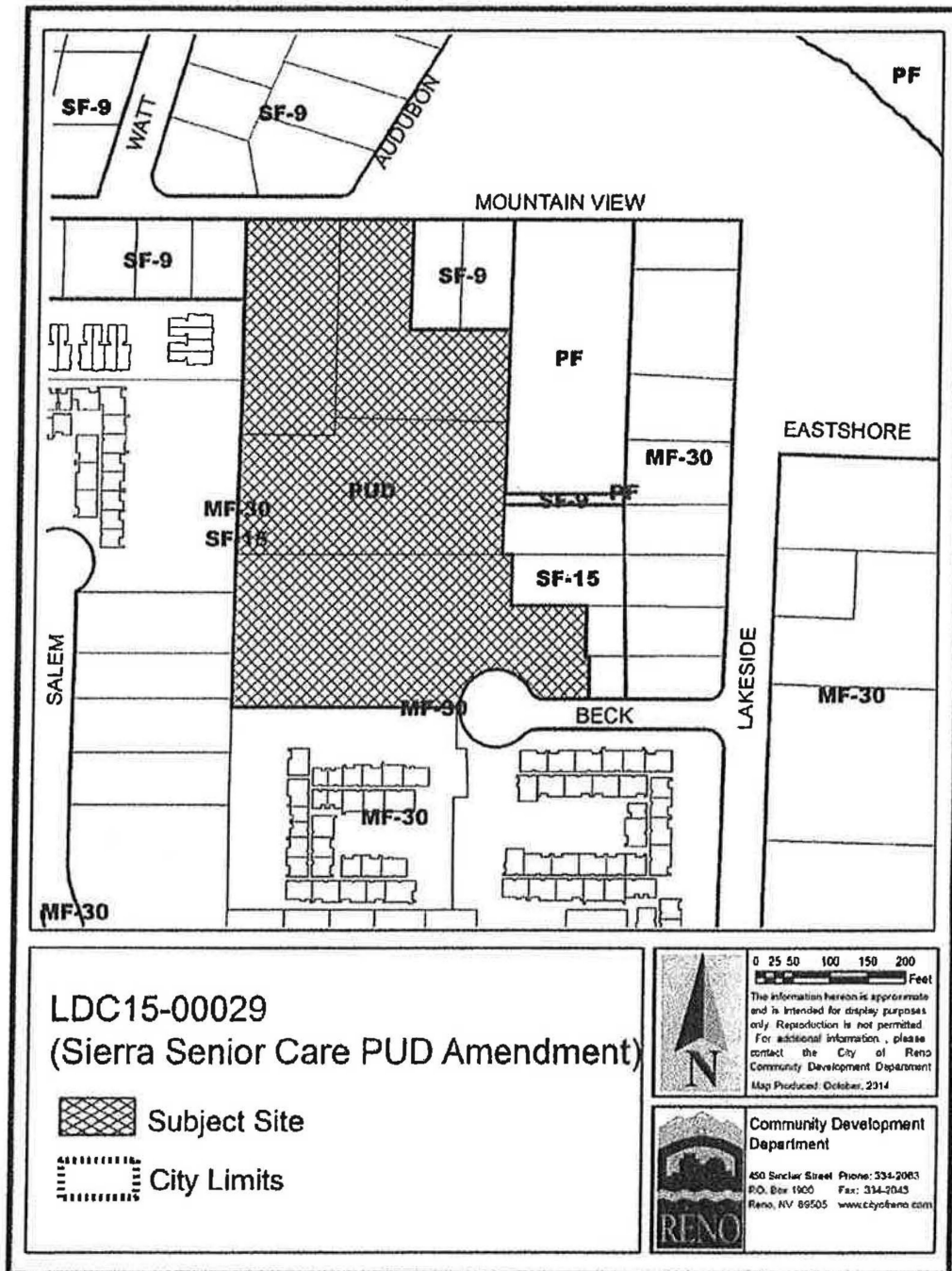
APN 019-232-58:

Parcel 1A of Record of Survey Map No. 5014, filed in the office of the County Recorder of Washoe County, State of Nevada on February 14, 2008, as File No. 3621045 of Official Records.

C and M Engineering
9498 Double R Boulevard, Suite B
Reno, NV 89521

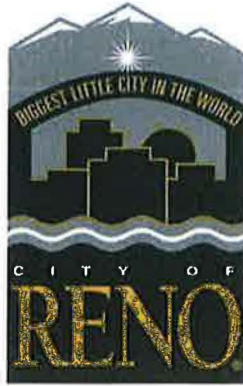


10/7/10



Ashley D. Turney
City Clerk
(775) 334-2030
TurneyA@reno.gov

Beverly Beaty-Benadom
Deputy City Clerk
(775) 334-2030
Beaty-BenadomB@reno.gov



Office of the City Clerk
Central Cashiering (775) 334-2032
Parking Tickets (775) 334-2279

April 21, 2015.

FILED THIS DATE
4 / 21 / 15
BY: BBB
CITY CLERK

Northern NV Community Housing
P.O. Box 20604
Reno, NV 89515

RE: Case No. LDC15-00029 (Sierra Senior Care Planned Unit Development Amendment) –
Certification of Handbook

Dear Applicant:

At a regular meeting held April 15, 2015, the City Council certified the Sierra Senior Care Planned Unit Development (PUD) Design Standards Handbook. The amendment was tentatively approved by the City Council on February 11, 2015.

Sincerely,

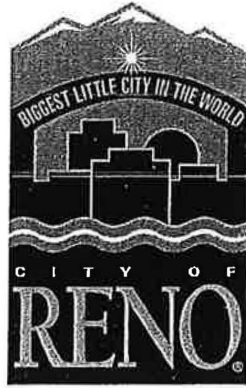
Beverly Beaty-Benadom
for Ashley D. Turney
City Clerk

ADT: bbb

xc: Community Development
Vern Kloos, Community Development
Jeff Mann, Parks, Recreation & Community Services
Beck Street Plaza, LLC, 226 California Avenue, Reno NV 89509
Angela Fuss, CFA, 1150 Corporate Boulevard, Reno NV 89502

Ashley D. Turney
City Clerk
(775) 334-2030
TurneyA@reno.gov

Beverly Beaty-Benadom
Chief Deputy City Clerk
(775) 334-2030
Beaty-BenadomB@reno.gov



Office of the City Clerk
Central Cashiering (775) 334-2030
Parking Tickets (775) 334-2293

FILED THIS DATE
9 / 15 / 17
BY: BBB
CITY CLERK

September 15, 2017

OCHOA Development Corporation
901 N. Green Valley Parkway, Suite 130
Henderson, NV 89074

RE: Case No. LDC17-00049 (Sierra Senior Care Planned Unit Development Handbook Amendment)

Dear Applicant:

At a regular meeting held September 13, 2017, the Reno City Council upheld the recommendation of the Planning Commission and approved the request for a zoning map amendment to amend the Sierra Senior Care Planned Unit Development (PUD) Handbook, by ordinance, subject to compliance with Condition A, which includes the changes to the PUD Development Design Guidelines. This amendment would allow for the development of a 32-bed memory care facility and an 82-bed assisted living facility as an alternative to a 48-bed memory care and a 12 unit independent living facility on the north ± 3.2 acres of the ± 5.09 acre PUD. The ± 5.09 acre site is located in the area bounded by Mountain View Drive to the north and Beck Street to the south in the PUD zone. The site has Master Plan land use designations of Mixed Residential (3-21 units/acre) and Urban Residential/Commercial.

CONDITION A:

Approval of the amendment to the Sierra Senior Care Planned Unit Development (PUD) Design Guidelines is subject to the modifications to the Handbook as noted in Exhibit A, the addition of Condition No. 1 attached to this report and any modifications made by the Planning Commission and City Council at their respective public hearings. The revisions shall be incorporated into the Design Guidelines Handbook and submitted to staff in both paper and electronic versions for review within two months of the date of City Council approval; and certified by the City Council within four months of the date of City Council approval. Failure by the applicant to conform with either time deadline shall render this approval null and void.

OCHOA Development Corporation
Case No. LDC17-00049 (Sierra Senior Care PUD Handbook Amendment)
September 15, 2017
Page 2

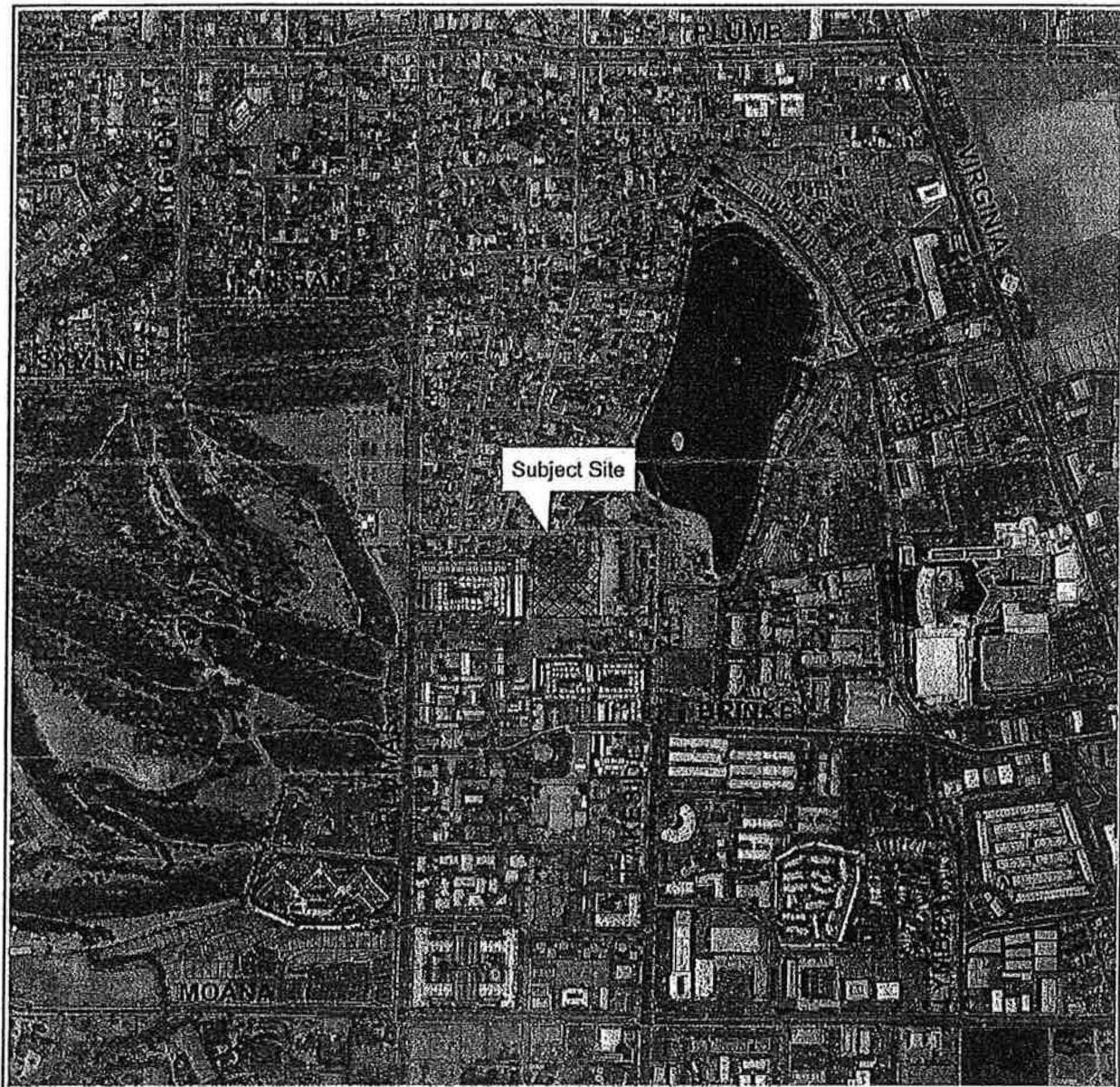
Sincerely,


for Ashley D. Turney
City Clerk



ADT:bbb

Encs.

xc: Community Development
Jeff Borchardt, Community Development
Jeff Mann, Parks, Recreation & Community Services
Beck Street Plaza LLC, 226 California Avenue, Reno NV 89509
Angela Fuss, Lumos & Associates, 9222 Prototype Drive, Reno NV 89521



LDC17-00049 (Sierra Senior Care PUD Amendment)

-  Subject Site
-  City Limits



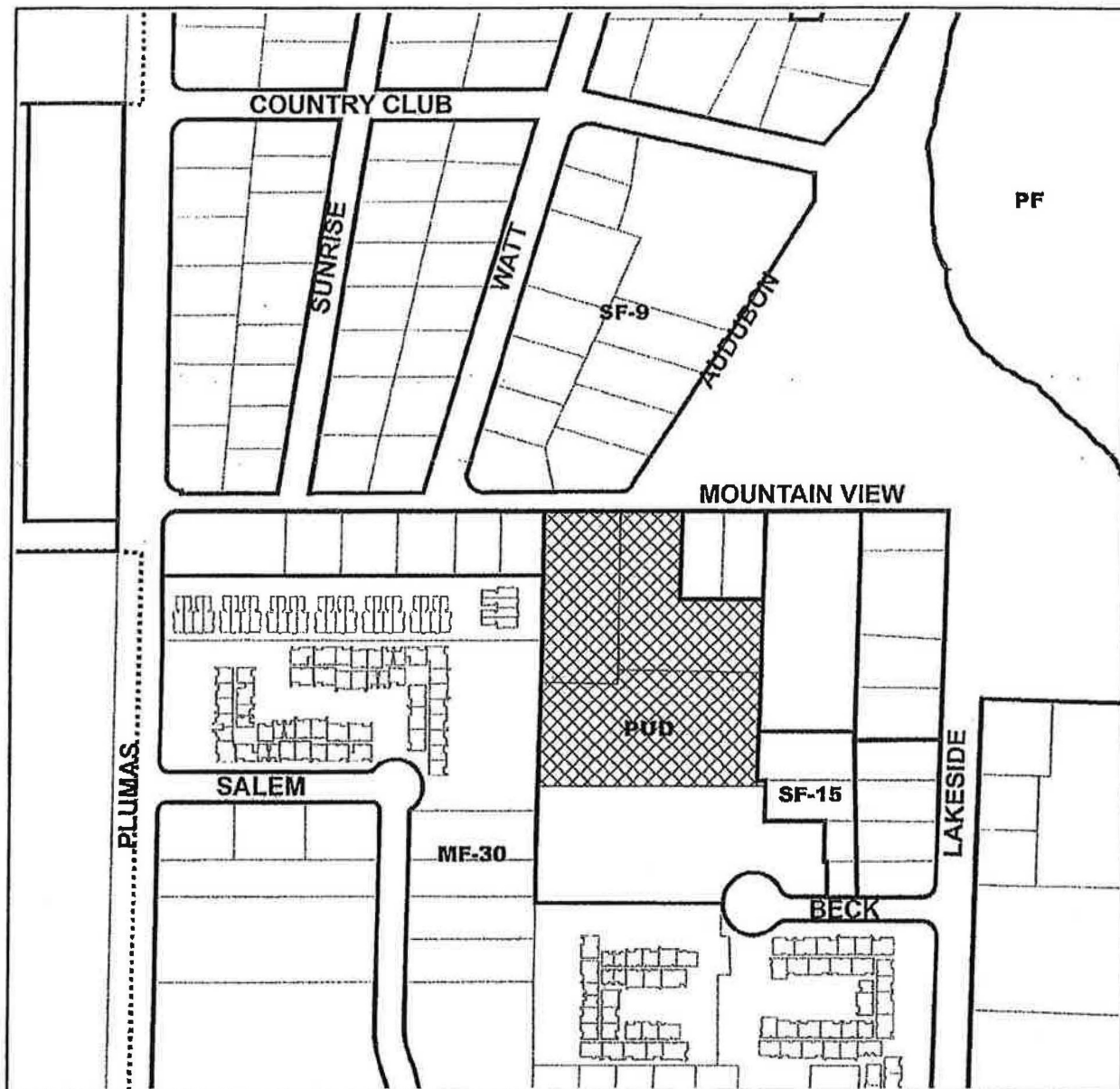
0 250 600 1,000 Feet

The information hereon is approximate and is intended for display purposes only. Reproduction is not permitted. For additional information, please contact the City of Reno Community Development Department. Map Produced: March, 2017





Community Development Department

1 East 1st Street Phone: 321-8309
P.O. Box 1900 Fax: 334-2043
Reno, NV 89505 www.reno.gov



LDC17-00049 **(Sierra Senior Care PUD Amendment)**

-  Subject Site
-  City Limits

0 75 150 300 Feet

The information herein is approximate and is intended for display purposes only. Reproduction is not permitted. For additional information, please contact the City of Reno Community Development Department.

Map Produced: March, 2017

Community Development Department

1 East 1st Street Phone: 321-6309
P.O. Box 1900 Fax: 334-2043
Reno, NV 89505 www.reno.gov

Ashley D. Turney
City Clerk
(775) 334-2030
TurneyA@reno.gov

Beverly Beaty-Benadom
Chief Deputy City Clerk
(775) 334-2030
Beaty-BenadomB@reno.gov



Office of the City Clerk
Central Cashiering (775) 334-2030
Parking Tickets (775) 334-2293

September 28, 2017

FILED THIS DATE
9 / 28 / 17
BY: BBB
CITY CLERK

OCHOA Development Corporation
901 N. Green Valley Parkway, Suite 130
Henderson, NV 89074

RE: Case No. LDC17-00049 (Sierra Senior Care Planned Unit Development Handbook Amendment) – ***NOTICE OF FINAL ACTION, DECISION OR ORDER***

Dear Applicant:

At a regular meeting held September 27, 2017, the Reno City Council passed and adopted Ordinance No. 6437, approving the PUD amendment for the above referenced case.

Sincerely,


Ashley D. Turney
City Clerk

ADT:bbb

Encs.

xc: Community Development
Jeff Borchardt, Community Development
Jeff Mann, Parks, Recreation & Community Services
Beck Street Plaza LLC, 226 California Avenue, Reno NV 89509
Angela Fuss, Lumos & Associates, 9222 Prototype Drive, Reno NV 89521

EXPLANATION: Matter underlined is new; matter in brackets and stricken [--] is material to be repealed.

BILL NO. 7005

ORDINANCE NO. 6437

ORDINANCE TO AMEND TITLE 18, CHAPTER 18.08 OF THE RENO MUNICIPAL CODE, ENTITLED "ZONING", SECTION 18.08.102(b).1351, TO CHANGE THE TEXT IN THE PLANNED UNIT DEVELOPMENT (PUD) DESIGN STANDARDS TO: ADD A 32 BED MEMORY CARE FACILITY AND 82 BED ASSISTED LIVING FACILITY AS AN ALTERNATIVE TO THE 48 BED MEMORY CARE AND 12 UNIT INDEPENDENT LIVING FACILITY ON THE NORTH ± 3.2 ACRES OF THE ± 5.09 ACRE PUD LOCATED IN THE AREA BOUNDED BY MOUNTAIN VIEW DRIVE TO THE NORTH AND BECK STREET TO THE SOUTH IN THE PUD ZONE; TOGETHER WITH OTHER MATTERS PROPERLY RELATING THERETO.

SPONSORED BY: RENO CITY PLANNING COMMISSION

THE CITY COUNCIL OF THE CITY OF RENO DOES ORDAIN:

SECTION 1. Chapter 18.08 of the Reno Municipal Code is hereby amended by adding thereto a new section to be known as Section 18.08.102(b).1351 relating to ± 3.2 acres of a ± 5.09 acre site located in the area bounded by Mountain View Drive to the north and Beck Street to the south in the PUD zone and more particularly described in the attached "Exhibit A"; to change the text in the PUD Standards Handbook to: add a 32 bed memory care facility and 82 bed assisted living facility as an alternative to the 48 bed memory care and 12 unit independent living facility on the north ± 3.2 acres of the ± 5.09 acre PUD, the same to read as follows:

Sec. 18.08.102(b).1351. The zoning of the City of Reno as heretofore established is hereby amended in the manner shown on the map labeled Case No. LDC17-00049, thereby changing the use of land indicated therein, relating to ± 3.2 acres of a ± 5.09 acre site located in the area bounded by Mountain View Drive to the north and Beck Street to the south in the PUD zone, and more particularly described in the attached "Exhibit A"; to change the text in the PUD Design Standards Handbook to: add a 32 bed memory care facility and 82 bed assisted living facility as an alternative to the 48 bed memory care and 12 unit independent living facility on the north ± 3.2 acres of the ± 5.09 acre PUD.

CASE NO. LDC17-00049 (Sierra Senior Care PUD Amendment)

SECTION 2. This Ordinance shall be in effect from and after its passage, adoption and publication in one issue of a newspaper printed and published in the City of Reno; and upon certification by City Council of the amended PUD Design Standards Handbook for Case No. LDC17-00049 and recordation of the amended PUD Design Standards Handbook for Case No. LDC17-00049.

SECTION 3. The City Clerk and Clerk of the City Council of the City of Reno is hereby authorized and directed to have this Ordinance published in one issue of the Reno-Gazette Journal, a newspaper printed and published in the City of Reno.

PASSED AND ADOPTED this 27th day of September, 2017, by the following vote of the Council:

AYES: Duerr, Bobzien, Delgado, McKenzie, Jardon, Schieve

NAYS: Brekhus

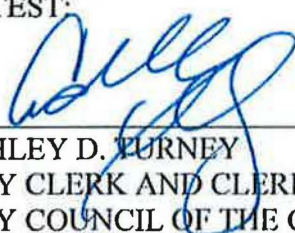
ABSTAIN: None

ABSENT: None

APPROVED this 27th day of September, 2017.


HILLARY L. SCHIEVE
MAYOR OF THE CITY OF RENO

ATTEST:


ASHLEY D. TURNEY
CITY CLERK AND CLERK OF THE
CITY COUNCIL OF THE CITY OF
RENO, NEVADA



EFFECTIVE DATE: September 29, 2017.

LDC17-00049 (Sierra Senior Care PUD Amendment) - ord - JDB.doc

E., M.D.B. &M., bounded and described as follows:

Commencing at a point on the East and West Section line of Section 23 at an iron pin, being the Northwest corner of a larger tract conveyed by Silver J. Carano, et ux. To all parties hereto by deed dated July 2, 1962, Deed Book 635 p. 356 of which this is a part; thence South 0°37'27" West 280.37 feet to a point; thence South 89°22'33" East 125 feet to a point; thence North 0°37'27" East 282.71 feet more or less to the East and West section line of Section 23 aforesaid; thence along said line South 89°16'59" West 125.03 feet more or less to the place of beginning.

Being part of the property conveyed by S.J. CARANO, et ux. As aforesaid by deed dated July 2, 1962, Deed Book 635 p. 356.

APN: 019-232-15

Document Number 644948 is provided pursuant to the requirements of NRS 111.312

THIRD PARCEL


All that certain piece of land in Washoe County, Nevada, being in Section 23, T. 19 N., R. 1 E., M.D.B. &M., bounded and described as follows:

Commencing at a point of the East and West Section line of Section 23 at the Northeast corner of land described in deed to JOHN and VICTORINE CARANO of this date; thence along the East line of JOHN CARANO land South 0°37'27" West 259 feet to a point at the Northwest corner of land described in deed to MARIE CARANO of this date; thence along MARIE CARANO'S North line South 89°22'33" East 232.84 feet more or less to the West line of land of County of Washoe; thence along the County line North 1°09'30" East 120.17 feet to the South line of property now of ALBINA CARANO; thence South 89°15'38" West along the South line of ALBINA CARANO land and the South line of property now of Ralph and KATHLEEN HERRING 133.96 feet to a point; thence North 0°19'59" East along the West line of RALPH HERRING land 144.35 feet to the East and West section line of Section 23 aforesaid; thence along said Section line South 89°16'59" West 99.30 feet more or less the place of beginning.

Being part of the property conveyed by S. J. CARANO, et ux. as aforesaid, by deed dated July 2, 1962, Deed Book 635, p. 356.

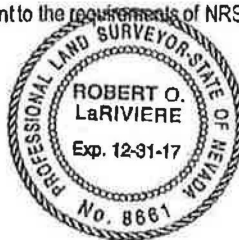
APN: 019-232-16

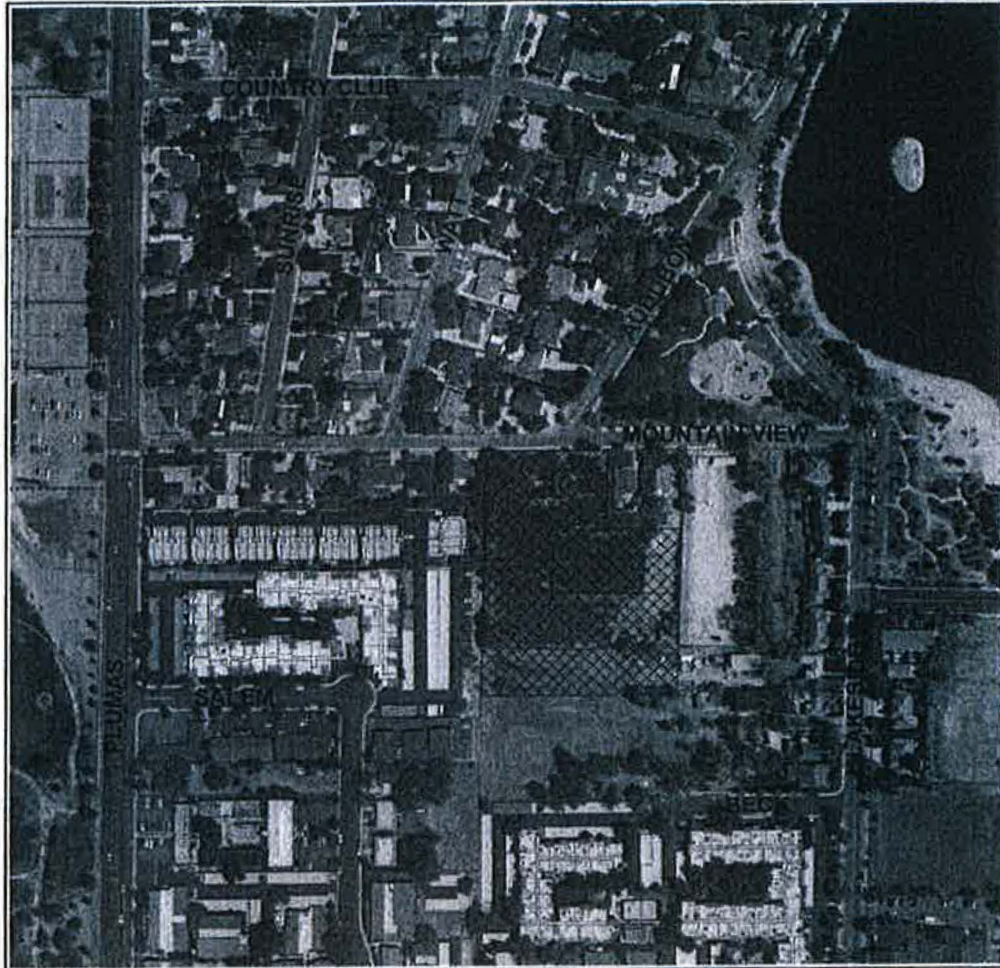
Document number 2466995 is provided pursuant to the requirements of NRS 111.312


Robert O. LaRiviere, P.L.S. 8661



CFA Inc.
1150 Corporate Blvd.
Reno, NV 89502

8-8-17





LDC17-00049
(Sierra Senior Care PUD Amendment)

-  Subject Site
-  City Limits



0 75 150 300 Feet

The information hereon is approximate and is intended for display purposes only. Reproduction is not permitted. For additional information, please contact the City of Reno Community Development Department. Map Produced March, 2017.

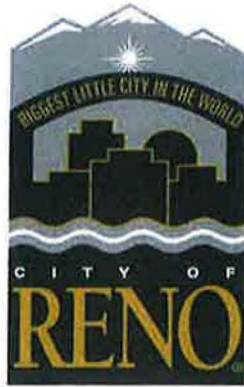


Community Development Department

1 East 1st Street Phone: 321-8309
P.O. Box 1600 Fax: 334-2043
Reno, NV 89508 www.reno.gov

Ashley D. Turney
City Clerk
(775) 334-2030
TurneyA@reno.gov

Beverly Beaty-Benadom
Chief Deputy City Clerk
(775) 334-2030
Beaty-BenadomB@reno.gov



Office of the City Clerk
Central Cashiering (775) 334-2030
Parking Tickets (775) 334-2293

November 16, 2017

FILED THIS DATE
11 / 16 / 17
BY: BBB
CITY CLERK

OCHOA Development Corporation
901 N. Green Valley Parkway, Suite 130
Henderson, NV 89074

RE: Case No. LDC17-00049 (Sierra Senior Care) – Certification of Handbook

Dear Applicant:

At a regular meeting held November 15, 2017, the Reno City Council certified the Sierra Senior Care Planned Unit Development (PUD) Handbook. The amendment was tentatively approved by the Reno City Council on September 27, 2017.

In order to effectuate the PUD, the Handbook must be recorded at the Washoe County Recorder's Office in accordance with NRS 278A.

Sincerely,


Ashley D. Turney
City Clerk

ADT:bbb

xc: Community Development
Jeff Borchardt, Community Development
Jeff Mann, Parks, Recreation & Community Services
Beck Street Plaza LLC, 226 California Avenue, Reno NV 89509
Angela Fuss, Lumos & Associates, 9222 Prototype Drive, Reno NV 89521

One East First Street, Second Floor*P.O. Box 7, Reno, NV 89504
www.reno.gov



WASHOE COUNTY RECORDER

OFFICE OF THE COUNTY RECORDER
LAWRENCE R. BURTNESS, RECORDER

1001 E. NINTH STREET
POST OFFICE BOX 11130
RENO, NEVADA 89520-0027
PHONE (775) 328-3661
FAX (775) 325-8010

LEGIBILITY NOTICE

The Washoe County Recorder's Office has determined that the attached document may not be suitable for recording by the method used by the Recorder to preserve the Recorder's records. The customer was advised that copies reproduced from the recorded document would not be legible. However, the customer demanded that the document be recorded without delay as the parties rights may be adversely affected because of a delay in recording. Therefore, pursuant to NRS 247.120 (3), the County Recorder accepted the document conditionally, based on the undersigned's representation (1) that a suitable copy will be submitted at a later date (2) it is impossible or impracticable to submit a more suitable copy.

By my signing below, I acknowledge that I have been advised that once the document has been microfilmed it may not reproduce a legible copy.

Ellie Reeder

Signature

11/27/2017

Date

Ellie Reeder

Printed Name

01/20/2022 10:31 am: mclap@nc...



Exhibit D - Agency Comments



Grace Whited <whitedg@reno.gov>

200 Mountain View Dr

4 messages

Grace Whited <whitedg@reno.gov>
To: Catie Harrison <harrisonc@reno.gov>

Thu, Mar 17, 2022 at 11:40 AM

Hi Caite,

I have a project at the above referenced address for a 96 unit multi-family project. It is my understanding that Mountain View drive will be improved this summer. I advised the applicant to coordinate with public works, but I also wanted to reach out myself to get your thoughts on the project and any concerns you may have. The project is LDC22-00050 (Sierra Senior Care PUD Amendment). Please let me know if you have any questions.

Thank you!



Grace Whited - Assistant Planner
(she/her)
Community Development Department

e. whitedg@reno.gov w. www.reno.gov
a. One East First Street, Reno NV 89501
o. 775-657-4691 | c. 775-741-3004

Catie Harrison <harrisonc@reno.gov>
To: Grace Whited <whitedg@reno.gov>

Mon, Mar 21, 2022 at 10:10 AM

Hi Grace,

Thank you for asking the applicant to coordinate with Public Works, I appreciate it. I have three main concerns/coordination items:

- Recommend completing any needed utility work within Mountain View prior to the road reconstruction project. This would avoid the project incurring a street cut penalty as well as helping preserve the new pavement.
- The civil plans showed a traffic circle at Mountain View and Audubon. I wasn't sure if this project was proposing the installation of a traffic circle as part of their project? The COR reconstruction project includes replacement of the existing speed hump on Mountain View, but not a traffic circle.
- It appears APNs 019-232-17 and 019-232-18 connect to the sewer on the subject property. Sewer service will need to be maintained for these parcels.

Please let me know if you have any questions or if you would like to discuss further.

Thanks!
Catie Harrison, P.E.
Senior Civil Engineer
City of Reno Public Works
Office: (775) 334-3335
[1 East First Street, 8th Floor](#)
[Reno, NV 89501](#)

[Quoted text hidden]

Grace Whited <whitedg@reno.gov>
To: Mike Railey <MIKE@christynv.com>

Mon, Mar 21, 2022 at 10:26 AM

See below from public works.

[Quoted text hidden]

Grace Whited - Associate Planner



(she/her)

Development Services Department

e. whitedg@reno.gov w. www.reno.gov
a. One East First Street, Reno NV 89501
o. 775-657-4691 | c. 775-741-3004

Grace Whited <whitedg@reno.gov>
To: Catie Harrison <harrisonc@reno.gov>

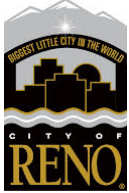
Mon, Mar 21, 2022 at 10:27 AM

Hi Catie,

Thank you for getting back to me! The traffic circle was proposed to help calm traffic, but I think it may be better to keep the speed bump and add a crosswalk to the park. I will forward these initial comments to the applicant.

Thank you!

[Quoted text hidden]

**Grace Whited** - Associate Planner

(she/her)

Development Services Department

e. whitedg@reno.gov w. www.reno.gov
a. One East First Street, Reno NV 89501
o. 775-657-4691 | c. 775-741-3004



REGIONAL TRANSPORTATION COMMISSION

Metropolitan Planning • Public Transportation & Operations • Engineering & Construction

Metropolitan Planning Organization of Washoe County, Nevada

February 2, 2022

FR: Chrono/PL 181-22

Mr. Kyle Chisholm
Community Development Department
City of Reno
P.O. Box 1900
Reno, NV 89505

Dear Mr. Chisholm,

RE: LDC22-00050 (Sierra Senior Care PUD Amendment)

The RTC has reviewed this request for an **amendment** to the Sierra Senior Care Planned Unit Development (PUD) zoning district design standards handbook to allow for 96 multi-family dwelling units on the vacant northern ± 3.26 acre portion of the PUD. Also, in order to accommodate the proposed use, various additions to design standards are proposed including: building architecture, setbacks, lighting, landscaping, parking, etc. The ± 5.09 acre PUD is generally located north of the terminus of Beck Street and south of Mountain View Drive. The site has a Master Plan land use designation of Multi-Family Neighborhood (MF).

Please ask the developer to contact Scott Miklos, Trip Reduction Analyst, at 775-335-1920 or smiklos@rtcwashoe.com to discuss implementing a bus pass subsidy program for the residents. The buss pass subsidy program is a part of RTC Smart Trips Program which promotes transportation options. Mr. Miklos can assist with providing information on the RTC Smart Trips Program which includes providing materials with specific transportation options for residents which will also help reduce the pollution and congestion in the region and promote transit.

The RTP, RTC Bicycle/Pedestrian Master Plan and the Nevada Department of Transportation Pedestrian Safety Action Plan, all indicate that new development and re-development will be encouraged to construct pedestrian and bicycle facilities, internal and/or adjacent to the development, within the regional road system. In addition, these plans recommend that the applicant be required to design and construct any sidewalks along the frontage of the property in conformance with the stated ADA specifications.

Thank you for the opportunity to comment on this application. Please feel free to contact me at 775-332-0174 or email me at rkapuler@rtcwashoe.com if, you have any questions or comments.

Sincerely,

Rebecca Kapuler
Senior Planner

CC: Dale Keller, Regional Transportation Commission
Blaine Petersen, Regional Transportation Commission,
Sara Going, Regional Transportation Commission
Tina Wu, Regional Transportation Commission
Andrew Jankayura, Regional Transportation Commission
Scott Miklos, Regional Transportation Commission

/Sierra senior care PUD amendment



Grace Whited <whitedg@reno.gov>

LDC22-00050 (Sierra Senior Care PUD Amendment)

Chisholm, Kyle W <Kyle.Chisholm@washoeschools.net>

Tue, Jun 7, 2022 at 2:15 PM

To: Grace Whited <whitedg@reno.gov>

Cc: "Rodela, Brett A" <Brett.Rodela@washoeschools.net>

Dear Ms. Whited,

Below are the Washoe County School District (WCSD) comments in response to City of Reno Case No. LDC22-00050 (Sierra Senior Care PUD Amendment):

This project is zoned for Anderson Elementary, Swope Middle, and Reno High Schools. The project is calculated to generate 2, 1, and 1 student at each respective school level. WCSD anticipates no conflicts with the ability to provide educational services to students possibly generated by this project. For further information as to the school district's facilities plans, please feel free to reference the attached facilities plan. It has been approved for conformance with the Truckee Meadows Regional Planning Agency's 20 Year Plan.

The proposed 96 unit multi-family development associated with the requested amendment is located outside of the school bus pickup/dropoff area and is anticipated to generate increased pedestrian traffic for children zoned for Anderson Elementary School (located at [1055 Berrum Lane](#)). The applicant has proposed an adequate pedestrian connection to Anderson ES via new sidewalk infrastructure within and throughout the development that connects to the cul-de-sac at Beck Street through a gated entry and private road crosswalk near the southeast corner of the site. This connection is feasible and adequate as proposed as there is existing sidewalk infrastructure and crosswalk markings from Beck Street to the entrance of Anderson ES. However, WCSD recommends that this connection be required and conditioned with the project as adequate sidewalk infrastructure is not currently in-place to the north along Mountain view Drive. WCSD also recommends that sidewalk be installed adjacent to the development and along Mountain View Drive to Lakeside Drive where no sidewalk connection currently exists but defers to City codes, policies, and engineering practices for applicability of the recommended off-site improvements. Further, since the proposed southern route connects through a separate parcel (APN: 019-232-61), it is recommended that an appropriate cross-access easement be in-place across this property and that a safe crossing across the private road be in-place (as depicted in the plans) and that any proposed fencing or gates that could hinder this pedestrian access remain open and unlocked.

Thank you for giving the WCSD an opportunity to comment on this request. Please let me know if you have any questions.

Sincerely,

Kyle Chisholm

School Property Planning Manager

Washoe County School District, Capital Projects

Office: (775) 789-3810

Email: Kyle.Chisholm@WashoeSchools.Net



Washoe County School District Facilities Plan 2020-2039.pdf
5251K

Exhibit E - Public Comment

Which Category Describes You Citizen

Case Number LDC22-00050

Do you wish to opt-in to receive Reno Connect Development Project email newsletters? Yes

Citizen General Public Comment Form

Full Name LISA REEDY

Contact Email reedylm@aol.com

Contact Phone Number 775-826-0755

Position In Opposition

Leave comments on this case here.

Please do not allow this project to go through. We came out about four years ago to protest this location's development for a Senior Care Facility, which would have brought in 118 average daily trips to a VERY congested location. Now, with this amended proposal, it would bring in 647 daily trips. This is unacceptable. We are also very concerned with our property values. We also don't need new apartments in this area, as we have SO many (and so many are new, and doubtfully full.) Please stop this project from happening. Thank you.
Lisa Reedy
275 Bonnie Briar Pl
Reno NV 89509

Which Category Describes You

Citizen

Case Number

LDC22-00050

Do you wish to opt-in to receive Reno Connect Development Project email newsletters?

Yes

Citizen General Public Comment Form

Full Name

Alicia Powers

Contact Email

bigalpowers@gmail.com

Contact Phone Number

17753545005

Position

In Opposition

Leave comments on this case here.

I am writing to express my concerns regarding the proposed development of a 96 unit multi-family apartment complex in my neighborhood. The amended use request by MOUNTAIN VIEW HEALTHCARE LLC for a project on Mountain View Dr. includes a request to change an approved senior care facility to build a 96 unit apartment building and to change design standards from craftsman style architecture to an "updated" architectural design.

My home sits on the corner of Mountain View and Sunrise Drive. Traffic on Mountain View Drive affects the safety, noise level, the ingress/egress and the value of my home. Traffic from the amended use requests affects the safety and access of our neighborhood to the Virginia Lake Park complex.

Objection 1 - The proposed amendment request includes providing primary access of 647 average daily trips from the main entrance of the development to Mountain View Dr., a narrow two lane road that has a steep hill with a blind rise marked for 15 mph. Mountain View Dr. is heavily used by the community, dog walkers and local families to access the Virginia Lake Park complex. This street is not adequate for high volume vehicle traffic use. Please refer to attachment 1: Photo of Mountain View Drive.

Objection 2 - The Virginia Lake Park complex is composed of three parts - the lake, the playground and the dog park. The access to and the use of the park is made dangerous for members of our community by the amended use request proposal. Introducing high volume vehicle use adjacent to a popular children's playground harms our community and endangers our children. Please refer to attachment 2: Map of Virginia Lake Park.

The lake gets heavy use by our community from dawn to approximately 10 pm, weather permitting. Typical access to the

park is both by car and by foot. Little children learn how to ride their bike along the paths. Multi-generational families walk to the park typically either from Mountain View or Lakeside.

The playground gets heavy use by families; use includes folks picnicking and for birthday parties. It is typical to see families playing soccer and little children playing catch on the large lawn area on the west side of the playground.

The dog park is a community favorite and gets used from dawn to 10 pm, weather permitting. Folks walk to the park from multi-family homes south of the park and from Mountain View if they live off Plumas.

Objection 3 - The neighborhood adjacent to Virginia Lake Park has the highest multi-family density in Reno. Our neighborhood already has achieved the goal of a high density neighborhood (residential and multi-family) within walking distance to a park. The proposed use change harms our neighborhood by adding vehicle use to an already congested area. Please refer to attachment 3: Multi-family density.

Apartment developments include Edgewater, Lakeview, Golden, Sherwood Forest, Country Club Villas, Plumas Garden and multiple condo complexes

Objection 4 - Mountain View Dr., Watt Dr., Lakeview, Audubon and Country Club Dr. are heavily used by families walking to visit the park. Dogs and children are frequently in the road, playing, chasing an errant ball and loading and unloading picnic supplies. The proposed change of use increases risks of pedestrian deaths and endangers families and pets. Please refer to attachment 4: Traffic.

Mountain View Dr - as many as 647 daily vehicle trips will travel up a narrow two lane road with a blind rise through a residential neighborhood to get to Plumas

Watt Dr. - in order to avoid the 15 mph of the park, drivers will use Watt as a quicker alternative to getting to Plumb

Audubon - posted 15 mph speed limit is intended to help keep families safe; many drivers are likely to speed on this street

Lakeview (south of park) - this area is already heavily congested with vehicle and pedestrian traffic

Country Club Dr. - drivers may use Country Club to speed from Lakeside to Plumas

In sum, the proposed changes endanger families enjoying the park, pedestrians, people walking their dogs to the dog park, people using Mountain View, Country Club, Lakeview and Audubon as a walkway to and from the Virginia Lake park, and adversely affects the quiet and peace of the residents who live on Mountain View.

It is for these reasons that I respectfully request you to disapprove the proposed development changes.



Grace Whited <whitedg@reno.gov>

Fwd: Delevloment of senior housing near virgina lake

1 message

Heather Taylor <taylorh@reno.gov>
To: Grace Whited <whitedg@reno.gov>

Thu, Mar 17, 2022 at 8:59 AM

Hi Grace,

Please see the below comment for LDC22-00050.

**Heather Taylor** - Planning Technician**Development Services**

e. taylorh@reno.gov w. www.reno.gov
a. One East First Street, Reno NV 89501
o. 775.334.2668 | c. 775.741.2981

----- Forwarded message -----

From: **Reno Direct** <renodirect@reno.gov>
Date: Thu, Mar 17, 2022 at 8:56 AM
Subject: Fwd: Delevloment of senior housing near virgina lake
To: <RenoPlanningCommission@reno.gov>

Good morning!

I hope this email finds you well.

We received this email from the Mayor's office, which appears to be related to the proposed project LDC22-00050. Based on the contents, we believe that it may best be suited for public comment. Please see below.

Thank you!

Thank you for contacting Reno Direct!

Reno DIRECT
PO Box 1900
Reno, NV 89505
775-334-INFO (4636)
reno.gov/renodirect

Reno DIRECT is available 24 hours a day on our website at reno.gov. Find information and submit service requests any time!

----- Forwarded message -----

From: **Rick Caldeira** <caldeirar@reno.gov>
Date: Wed, Mar 16, 2022 at 5:10 PM
Subject: Fwd: Delevloment of senior housing near virgina lake
To: Reno Direct <renodirect@reno.gov>

----- Forwarded message -----

From: **kenneth kraebel** <astro@syix.com>

3/17/22, 9:00 AM

City of Reno Mail - Fwd: Delevloment of senior housing near virgina lake

Date: Mon, Mar 14, 2022 at 6:23 PM

Subject: Delevloment of senior housing near virgina lake

To: <caldeirar@reno.gov>

Do not over build by the lake. Please use common sense here, adding any more buildings in that area will have a overall negative effect vs. any positive gain. Thank you.



Grace Whited <whitedg@reno.gov>

Fwd: Development Near Virginia Lake Park?

2 messages

Kyle Chisholm <chisholmk@reno.gov>
 To: Grace Whited <whitedg@reno.gov>

Tue, Feb 22, 2022 at 8:23 AM

For additional Planning/Zoning Division questions, please contact the Planning Desk at **(775)321-8309** or by email at **POD@Reno.Gov**.

For general questions about building permits, permit fees, or permit submittal requirements, please contact the Building Division at **(775)334-2063** or by email at **Permits@Reno.Gov**. For questions about building code requirements or building permit review, please email **BldgReview@Reno.Gov**. To check the status of a building permit, please visit the **ONE Regional Licensing & Permits citizen access portal** at <https://aca.accela.com/one> and select Building.



Kyle Chisholm - Associate Planner

Development Services Department

e. chisholmk@reno.gov **w.** www.reno.gov
a. One East First Street, Reno NV 89501
o. (775) 326-6665 | **c.** (775) 741-3575

----- Forwarded message -----

From: **Valerie Cohen** <valerie.cohen@att.net>
 Date: Fri, Feb 18, 2022 at 4:45 PM
 Subject: Development Near Virginia Lake Park?
 To: <chisholmk@reno.gov>

Kyle Chisholm,

I recieved a mailed page with color photos from the "Country Club Acres Neighbors" (who included no return address, only yours).

The entire page makes no sense.

This concerns (??) the large vacant area just adjoining the dog-park at the South West corner of Virginia Lake Park? It claims that "a request has been made to amend the Sierra Care Planned Unit Development (PUD)." They (whoever they are) want to "allow 96 multifamily dwelling units." Who submits this request?

Apparent existing plan might be "assisted living & memory care facility," one two-story building.

Maybe (?) whomever submitted this page wants to add a "multifamilyfamily apartment complex" of nearly 100 units.

Who, financially, is behind this change? Surely some developer, not any organization helping Senior Citizens and who also love the serenity and beauty of Virginia Lake Park.

\$ amounts (rent or purchase) are not mentioned, either for the care facility, nor for the apartments.

The page gives only your contact address, but fails to provide your job title.

My husband, Michael P. Cohen, and I, absolutely oppose any addition to the senior care center, on a number of grounds!!!!

Valerie P. Cohen
valerie.cohen@att.net
VALERIEPCOHEN.COM
2215 Lindley Way
Reno, NV 89509-3724
(775) 828-4283

Grace Whited <whitedg@reno.gov>
To: Mike Railey <MIKE@christynv.com>

Tue, Feb 22, 2022 at 8:46 AM

Hey Mike,

See below.

[Quoted text hidden]

--



Grace Whited - Assistant Planner
(she/her)
Community Development Department

e. whitedg@reno.gov **w.** www.reno.gov
a. One East First Street, Reno NV 89501
o. 775-657-4691 | **c.** 775-741-3004



Grace Whited <whitedg@reno.gov>

Fwd: New Case Comment Recieved:

1 message

Heather Taylor <taylorh@reno.gov>
 To: Grace Whited <whitedg@reno.gov>

Thu, Mar 10, 2022 at 2:00 PM

Hi Grace,

Please see the below public comment for LDC22-00050.

**Heather Taylor** - Planning Technician**Development Services**

e. taylorh@reno.gov **w.** www.reno.gov
a. One East First Street, Reno NV 89501
o. 775.334.2668 | **c.** 775.741.2981

----- Forwarded message -----

From: **Public Comment Form** <williamsca@reno.gov>
 Date: Thu, Mar 10, 2022 at 1:56 PM
 Subject: New Case Comment Recieved:
 To: <taylorh@reno.gov>

A new Citizen response has been received for .

Which Category Describes You

Citizen

Case Number

LDC22-00050

Do you wish to opt-in to receive Reno Connect Development Project email newsletters?

No

Citizen General Public Comment Form**Full Name**

Norris Duke Reedy

Contact Emaildukisa@aol.com**Contact Phone Number**

7758260755

Position

In Opposition

Leave comments on this case here.

We do not want this development. There are too many apartments in this very congested area already and if approved our property values will go down and traffic will be even worse.



City of Reno Development Services
37K

Public Comment and Review Form 224.pdf



Grace Whited <whitedg@reno.gov>

Fwd: New form response notification

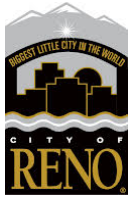
1 message

Heather Taylor <taylorh@reno.gov>
To: Grace Whited <whitedg@reno.gov>

Tue, Mar 15, 2022 at 12:35 PM

Hi Grace,

Please see the below public comment for LDC22-00050. This particular comment came through the Clerk's Office comment form. It has been recorded as a public comment for the next Council meeting, but thought you should have it as well.

**Heather Taylor** - Planning Technician**Development Services**

e. taylorh@reno.gov w. www.reno.gov
a. One East First Street, Reno NV 89501
o. 775.334.2668 | c. 775.741.2981

----- Forwarded message -----

From: **Public Comment** <publiccomment@reno.gov>
Date: Tue, Mar 15, 2022 at 12:26 PM
Subject: Fwd: New form response notification
To: Heather Taylor <taylorh@reno.gov>

----- Forwarded message -----

From: **Reno City Council Online Public Comment Received** <cityclerk@reno.gov>
Date: Fri, Mar 11, 2022 at 1:02 PM
Subject: New form response notification
To: <publiccomment@reno.gov>

Your form has a new entry. Here are all the answers.

Your Name (First and Last)	Greg & Amy Glodowski
If you are representing someone other than yourself, please indicate who you are representing.	Self
Email Address	ggesq@nvgbell.net
Address	2355 Audubon Way / Reno, NV 89509
Which City of Reno Ward do you reside?	Ward 1

Council Meeting Date

Apr 06, 2022

Do you wish to speak in person?

Yes

Agenda Item

Sierra Sr Care PUD Amendment(LCD22-00050)

Please state if you are in favor or in opposition of the agenda item in which you are commenting:

In opposition

Your Comment

The Amendment for additional 96 apartments is inadequate for public safety with the traffic on Mt. View, inadequate safety impact to the children's playground & dog park & the already over-crowded on-street parking on Lakeside, Audubon Way & Mt. View. The Council voted and assured that no other Amendment would be approved outside of the Senior Care Service that was previously approved. In additional we request that the March 14th Ward 1 Agenda & April 6th Planning Commission Agenda be pulled until it can be heard by both Ward 1 and Ward 2. The contact number on the Notice Cards was incorrect so we were unable to get information needed.

Do you wish to sign-up for Reno Connect e-newsletters?

Yes

By checking the "Yes" option below, you agree that all the information above is true and accurate. For additional information, please refer to the agenda for today's meeting.

Yes



Grace Whited <whitedg@reno.gov>

Sierra Senior Care PUD Amendment (LCD 22-00050)

Carmen Gage <carmen.gage@gmail.com>

Mon, Apr 4, 2022 at 8:26 AM

To: Grace Whited <whitedg@reno.gov>

Cc: City Mgr Doug Thornley <thornleyd@reno.gov>, cityclerk@reno.gov, Reno Planning Commissioners <renoplanningcommission@reno.gov>, Jenny Brekhus <brekhusj@reno.gov>

Dear Ms. Whited,

I am writing to you regarding the above-referenced subject since you are the Planner assigned to this property. Many residents of the Country Club Acres (CCA) neighborhood were instrumental in the original formation of the Planned Unit Development property. Eventually, the Sierra Senior Care project at 200 Mt. View Drive, Reno, Nevada was approved with the general agreement of those residents.

I recently attended the Community Meeting regarding the proposed new project at this site and found that very few of the Country Club Acres residents had been notified of the meeting. When I inquired as to why this was the case, I was told by Mr. Railey that the City of Reno noticing requirements were met.

I am asking that the entire CCA neighborhood (Mountain View Street to Plumb Lane, and Lakeside to Plumas Street) be notified of the upcoming Planning Commission meeting scheduled for May 4th. The large yellow boards posted near the property will not do since people often drive by without noticing them.

Ms. Whited, since you were not part of the Community Development Department at the time the CCA residents worked with the developers of this project, you would not have known how much effort went into the approval of the Sierra Senior Care PUD. This project was well accepted by the neighbors and were looking forward to seeing it built.

Therefore I, along with my neighbors, would like to receive mail notifications regarding future meetings pertaining to the Sierra Senior Care PUD Amendment.

I will await your response. Thank you in advance for your attention to this request.

Carmen Gage
2255 Sunrise Drive
Reno, Nevada
(775) 826-7184



Grace Whited <whitedg@reno.gov>

Fwd: New Case Comment Recieved:

1 message

Heather Taylor <taylorh@reno.gov>
 To: Grace Whited <whitedg@reno.gov>

Thu, Mar 10, 2022 at 12:22 PM

Hi Grace,

Please see the comment below for LDC22-00050.

**Heather Taylor** - Planning Technician**Development Services**

e. taylorh@reno.gov **w.** www.reno.gov
a. One East First Street, Reno NV 89501
o. 775.334.2668 | **c.** 775.741.2981

----- Forwarded message -----

From: **Public Comment Form** <williamsca@reno.gov>
 Date: Thu, Mar 10, 2022 at 12:12 PM
 Subject: New Case Comment Recieved:
 To: <taylorh@reno.gov>

A new Citizen response has been received for .

Which Category Describes You

Citizen

Case Number

22-00050

Do you wish to opt-in to receive Reno Connect Development Project email newsletters?

Yes

Citizen General Public Comment Form**Full Name**

CHARLES MACLEOD

Contact EmailChipmac50@gmail.com**Contact Phone Number**

7758300720

Position

In Opposition

Leave comments on this case here.

Not appropriate in that location. Too many daily trips, likely underestimated by developer, and in excess of previously denied project on same site. Only one access to a narrow street in a residential neighborhood and along a busy park for all that traffic is irresponsible.



City of Reno Development Services
39K

Public Comment and Review Form 223.pdf



Grace Whited <whitedg@reno.gov>

Fwd: How to have several hundred people attend the the March 14th NAB Meeting.

4 messages

Nic Ciccone <cicconen@reno.gov>
To: Grace Whited <whitedg@reno.gov>

Tue, Mar 8, 2022 at 9:37 AM

Just FYA. I'll respond.

----- Forwarded message -----

From: **bruce gamino** <bpgdag@sbcglobal.net>
Date: Tue, Mar 8, 2022 at 9:34 AM
Subject: How to have several hundred people attend the the March 14th NAB Meeting.
To: cicconen@reno.gov <cicconen@reno.gov>

There is a huge interest in the (Sierra Senior Care PUD Amendment LDC22-00050) tentatively scheduled for March 14.

We have organized a very large protest against the developer of this project a we were wondering how to handle a zoom call with this many participants.
So I have a number of question's

- 1.) I can not find the this project on the Ward 1 NAB schedule, as I don't want to waste your time and ours, just want to make sure that it is scheduled for that date?
- 2.) Considering the high interest in this project, would an in person, community meeting be more appropriate.
- 3.) I have not heard council person Brekhus position on all of this. No need to misstate her position if its not warranted.

While a Email is great I would love to hear from you in person if possible.

Thank you, from all the concerned citizens who love our park.

Bruce Gamino
775-232-2814

--



Nic Ciccone
Community Liaison
Office of the City Manager
City of Reno
775-433-4491(c)
[1 E. First St., Reno, NV 89501](#)

Grace Whited <whitedg@reno.gov>
To: Mike Railey <MIKE@christynv.com>

Tue, Mar 8, 2022 at 9:39 AM

See below.
[Quoted text hidden]

--

Grace Whited - Assistant Planner
(she/her)
Community Development Department



e. whitedg@reno.gov w. www.reno.gov
 a. One East First Street, Reno NV 89501
 o. 775-657-4691 | c. 775-741-3004

Nic Ciccone <cicconen@reno.gov>
 To: bruce gamino <bpgdag@sbcglobal.net>
 Cc: Jenny Brekhus <brekhusj@reno.gov>
 Bcc: whitedg@reno.gov

Tue, Mar 8, 2022 at 9:45 AM

Hi Bruce,

1) Yes this is confirmed for that agenda. Agenda's are posted 3 business days prior to the meeting. The zoom link will be included in the agenda. There is a portion at the beginning and end of the meeting for public comment. You can also submit comments regarding the project ahead of time here:

https://docs.google.com/forms/d/e/1FAIpQLSd9ay70oUOUglmM4cQoYiLgISHenUB1ZDqIcxvLDF6SI_Wwow/viewform

2) I am just a facilitator for the Neighborhood Advisory Boards and I cannot speak to that but will say the City has seen a significant increase in public engagement with virtual-only meetings.

3) I am not familiar with Councilmember Brekhus's view on this project but she is aware that it will be heard at this NAB meeting.

Warmly,
 Nic

[Quoted text hidden]

Nic Ciccone <cicconen@reno.gov>
 To: Grace Whited <whitedg@reno.gov>

Tue, Mar 8, 2022 at 4:01 PM

FYA



Nic Ciccone
 Community Liaison
 Office of the City Manager
 City of Reno
 775-433-4491(c)
 1 E. First St., Reno, NV 89501

----- Forwarded message -----

From: **Nic Ciccone** <cicconen@reno.gov>

Date: Tue, Mar 8, 2022 at 4:00 PM

Subject: Re: How to have several hundred people attend the the March 14th NAB Meeting.

To: bruce gamino <bpgdag@sbcglobal.net>

Hi Bruce,

1-3) I cannot speak to these and would advise you to speak to the Planner of the Day. The information can be found [here](#). Or you can contact them here: Phone: 775-321-8309 / Email: POD@reno.gov

4) The Ward Boundaries were updated in January and [there was an extensive public input process](#). The updated maps have been posted on our website [since December of last year](#).

5) That information was sent out in our monthly Development Services Newsletter on [January 28, 2022](#). You can sign up to receive updates if you wish.

6) To clarify, it is 3 business days prior according to NRS 241 and is [now available](#).

7) The agenda has been posted already with a virtual location. There has been a significant increase in public participation at the NABs with the online format.

8) I cannot speak to this. I only serve as a facilitator for the Neighborhood Advisory Boards for Ward 1 and 2.

Warmly,

Nic Ciccone



Community Liaison
Office of the City Manager
City of Reno
775-433-4491(c)
1 E. First St., Reno, NV 89501

On Tue, Mar 8, 2022 at 3:15 PM bruce gamino <bpgdag@sbcglobal.net> wrote:

Nick ,

Thank you for your quick response. I hope that Jenny will be made aware of the misgivings I have over the way public access to the NAB meeting is being handled. I am requesting a delay in the hearing for the following reasons and a change of venue.

- 1.) As the developer is attempting to do "an end around" to circumvent the normal zoning change that would be required. By using this tactic to change zoning in the PUD from what is effectively SF5 (single family) to MF 30 (high density multifamily). They have effectively been able to bypass the noticing requirements. The Developer only mailed a notice within 700 Ft which only constituted about 50 people knowing that this was going to be discussed.
- 2.) The all zoom policy that the NAB has decided on will effectively disenfranchise most of the surrounding Neighborhoods, Country club acres to the west is a majority elderly population which will not be able to participate, mostly because of lack of knowledge of technology. The neighbors to the south are the poor or working poor and because of lack of technology or having to work, or because Spanish is their only language, will not be able to participate.
- 3.) The "Courtesy Notice" that was sent has a phone number for questions for City staff who are not actually employed by the city.
- 4.) The general lack of knowledge that the ward boundaries had changed and that no one was informed of this, additionally even if you did know, the City of Reno website until sometime this week still showed this area as Ward 2.
- 5.) Unless you had one of the few notice cards there was no way to find the case # for the PUD amendment or any information regarding it.
- 6.) I may be mistaken but I believe some of the new NRS statutes require NAB agenda to be posted 10 days before the meeting and as of today 03-08-2022 is still not available.
- 7.) The rest of the city has resumed in person meetings, and because of the great interest in this project an in person public venue should be made available.
- 8.) Because the developer is requesting a Multi family building to egress through a park. Something that has never been done before in the City of Reno, I checked with staff to see if this was true. This should be done through the normal zoning process, as that level of upzoning would normally not be allowed, and never be allowed in conjunction to a park. Triggering real notice and public comment periods as well as impact studies of the area.

Thanks for hearing my concerns, I intend to bring this to City Council attention tomorrow. Any thoughts on how to mitigate some of these problems, would be appreciated.

Bruce Gamino
775-232-2814

[Quoted text hidden]

[Quoted text hidden]

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Grace Wy
wyitedg@

Exhibit F - NAB Comments

SIERRA SENIOR CARE PUD AMENDMENT

PUBLIC COMMENT CARD

All comments will be forwarded to City of Reno Development Services staff (attention Grace Whited)

Name: *Doris Leonasio* Contact Info (email or phone) *leonesibill@gmail.com*

*136 parking units is not near enough.
(I realize that is code - but be realistic)*

*I do not want Watt to become
a parking lot for extra cars.*

SIERRA SENIOR CARE PUD AMENDMENT

PUBLIC COMMENT CARD

All comments will be forwarded to City of Reno Development Services staff (attention Grace Whited)

Name: *Bruce Gurneo* Contact Info (email or phone) *775-232-2814*

*I am totally against this project. ~~They~~
They need to address the traffic and
Safety concerns.*

Grace Wy
wyitedg@

SIERRA SENIOR CARE PUD AMENDMENT

PUBLIC COMMENT CARD

All comments will be forwarded to City of Reno Development Services staff (attention Grace Whited)

Name:

Doris Leonasio

Contact Info (email or phone)

leonesio.bill@gmail.com

136 parking units is not near enough.
(I realize that is code - but be realistic)

I do not want Watt to become
a parking lot for extra cars.

SIERRA SENIOR CARE PUD AMENDMENT

PUBLIC COMMENT CARD

All comments will be forwarded to City of Reno Development Services staff (attention Grace Whited)

Name:

Bruce Gurneo

Contact Info (email or phone)

775-232-2814

I am totally against this project. ~~They~~
They need to address the traffic and
Safety concerns.

SIERRA SENIOR CARE PUD AMENDMENT

PUBLIC COMMENT CARD

All comments will be forwarded to City of Reno Development Services staff (attention Grace Whited)

Name:

Debra Gamino

Contact Info (email or phone)

775-232-2819

For the same reasons this was denied twice before, it should be denied now. Safety and traffic are the primary concerns, maintain View Dr. is already dangerous, highly traveled, the lane is very narrow. There are a lot of pedestrians, bikers, children, dog walkers. This is not a plan that fits Virginia Lake Park or Country Club Acres.

SIERRA SENIOR CARE PUD AMENDMENT

PUBLIC COMMENT CARD

All comments will be forwarded to City of Reno Development Services staff (attention Grace Whited)

Name:

Clark Hill

Contact Info (email or phone)

208-577-7973

clarkkenthill@gmail.com

I question whether the traffic is study. How can this be valid at the same rate? As a transportation manager I have been involved with several traffic studies. So vehicles for 96 units? This is a sham.

SIERRA SENIOR CARE PUD AMENDMENT

PUBLIC COMMENT CARD

All comments will be forwarded to City of Reno Development Services staff (attention Grace Whited)

Name:

JOANNE BRAVO
102 MOUNTAIN VIEW
RENO, NM

Contact Info (email or phone)

JOANNE-BRAVO@yahoo.com
(408) 348-7411

96 UNITS is Reduculous
When I purchased my house I was told
Senior living only 36 UNITS - NOT 96
Which is Reduculous w/all the land
Surrounding Reno Why this section of
TOWN!

SIERRA SENIOR CARE PUD AMENDMENT

PUBLIC COMMENT CARD

All comments will be forwarded to City of Reno Development Services staff (attention Grace Whited)

Name:

Danielle Schefcik

Contact Info (email or phone)

dschefcik@nevada.unr.edu
530-848-7161

Will the dog park remain safe? It has been re-zoned
to "Public Space" is this ~~an~~ space intended to stay
as a dog park or is there planning to close it?
The closest other "dog park" is not gated, the next
closest is 21 minutes away. Please save our park.