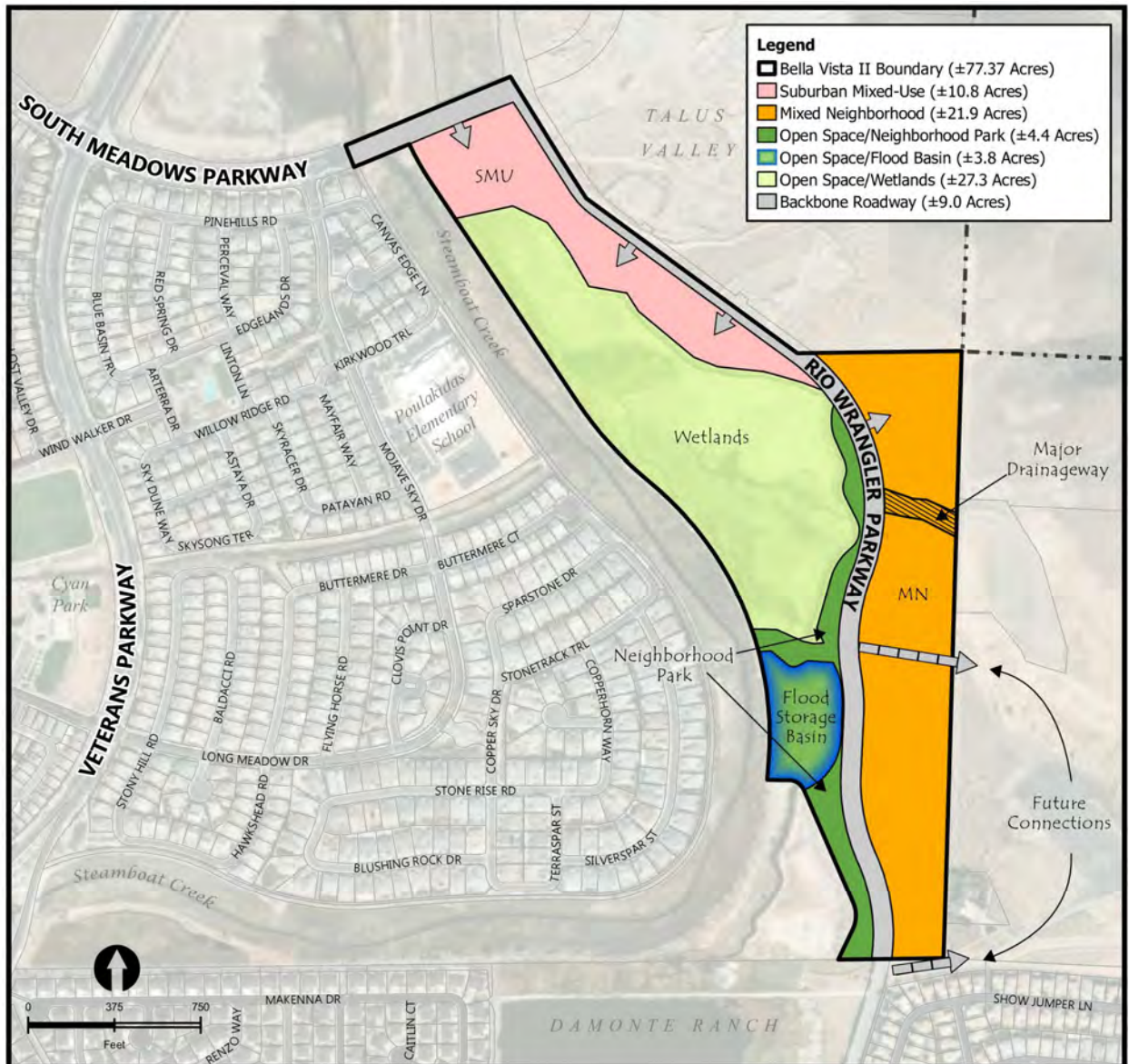


Bella Vista Ranch Phase II

PUD Design Standards
Reno, Nevada



Certified by City Council:
January 16, 2013

Prepared for:
City of Reno

Amended on:
March 9, 2022

DRAFT AMENDMENT: DECEMBER 26, 2023

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I. PROJECT DESCRIPTION

The ±77.37-acre Bella Vista Ranch Phase II Planned Unit Development (PUD) is located in the southeastern portion of the City of Reno (Figure 1). The PUD includes a mixture of residential, commercial, neighborhood park, and open space uses. The intent of the PUD is to preserve the proposed open space and wetlands, including the flood storage improvements, and create two (2) development areas which will be developed for subsequent subdivision into individual building lots, multi-family housing, and non-residential building sites. One development area will allow a mix of residential and non-residential uses that will support the future development, and the surrounding neighborhoods, while the other will be limited to only residential uses. This will allow for the development of a range of housing types and options.

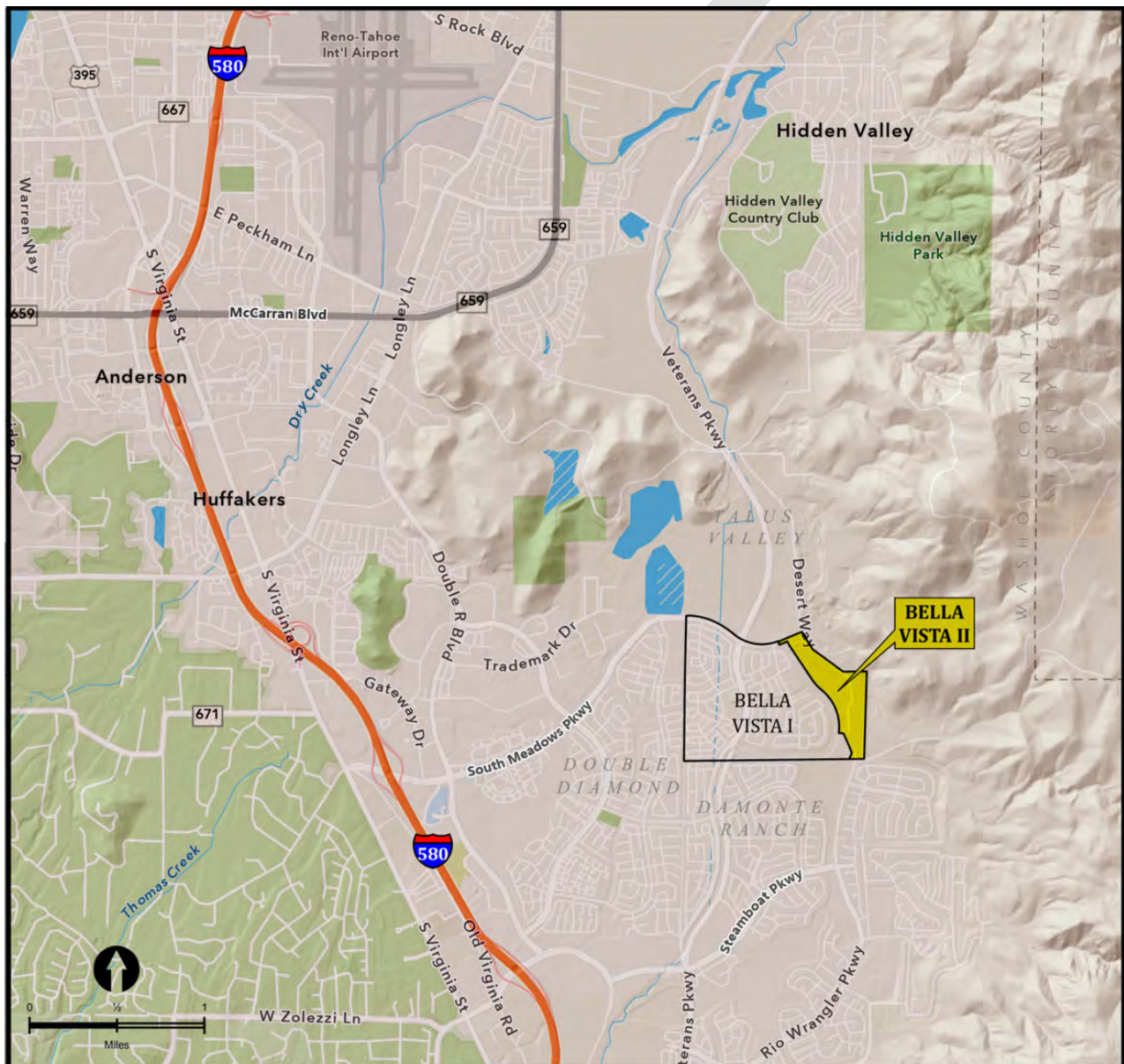


FIGURE 1
Location Map

A. Development Concept

The Bella Vista Ranch Phase II PUD consists of a mixture of residential, commercial, and open space/parks. Residential uses will be allowed within the Mixed-Neighborhood (MN) land use and will allow for single-family detached, single-family attached, and multi-family uses at densities ranging from 6 to 30 dwelling units per acre (du/ac). The Suburban Mixed-Use (SMU) land use will include a mix of residential and neighborhood commercial uses. Parks Greenways and Open Space (PGOS) land use provides a total of ± 35.5 acres and will include a ± 4.4 neighborhood park, ± 3.8 acres of flood storage basin and ± 27.3 acres of wetlands (WM-1), (as shown on **Figure 2**).

The maximum density, total number of dwelling units and the maximum non-residential square footage for each village is shown on **Table 1**, page 14. The maximum number of dwelling units within the entire Bella Vista II PUD shall not exceed 609 dwelling units (residential) and the commercial square footage shall not exceed 117,612 square feet (non-residential).

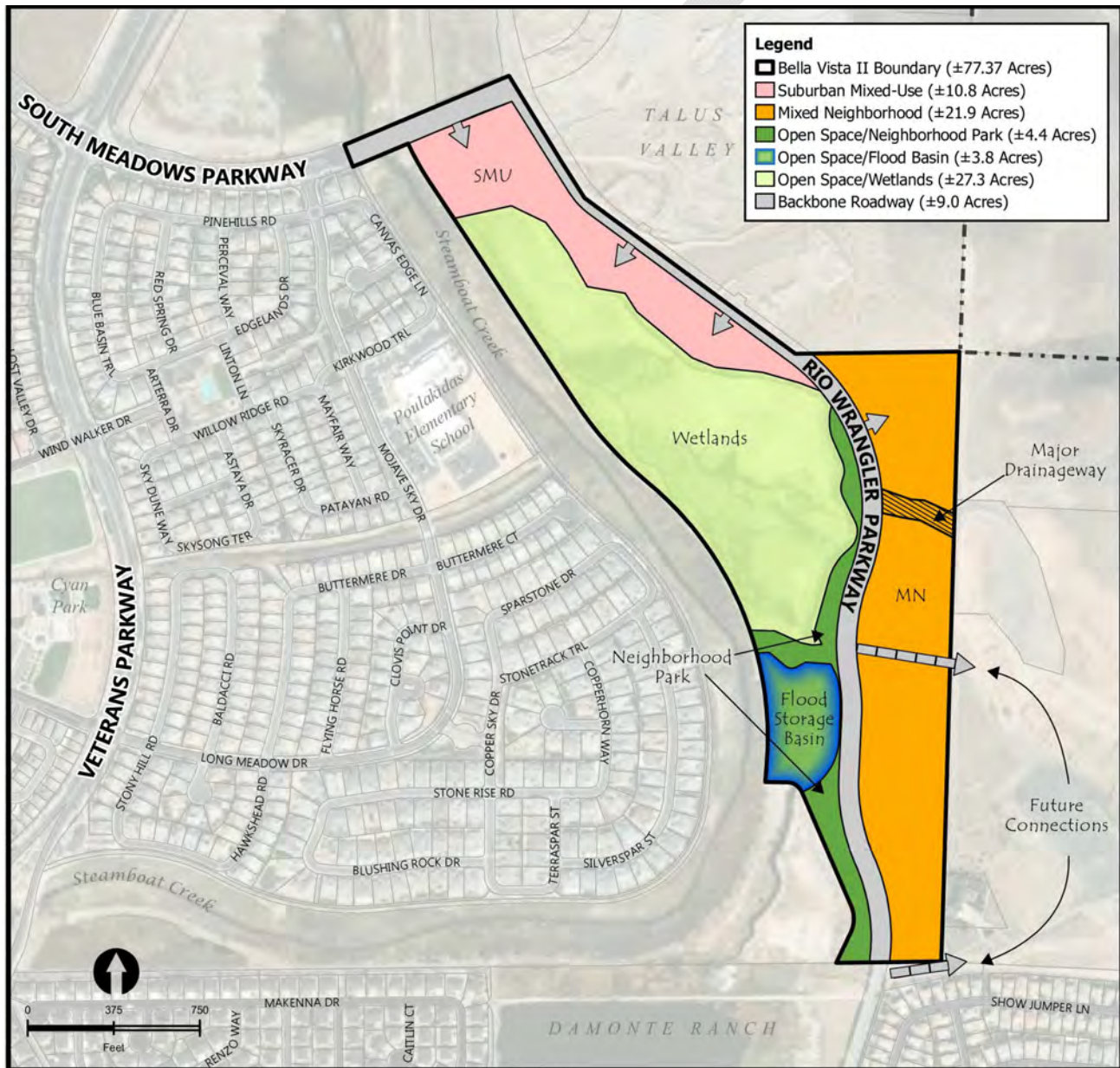


FIGURE 2
Land Use and Phasing Plan

B. Site Features Influencing Site Plan Design

Several onsite and offsite environmental constraints were considered when influencing site plan design. These are identified in **Figure 3**, Dominant Site Features.

Onsite Features

The entire site is virtually flat with a modest slope from south to north. Environmental onsite constraints include:

- i. The jurisdictional wetland area (WM-1) that will be set-aside as permanent open space and enhanced as part of the Steamboat Creek Restoration program discussed in Appendix C are identified as “wetlands” in **Figure 3**. This area is proposed to be located within the ±27.3 acres of wetlands (WM-1), as shown on **Figure 2** and will not be developed.
- ii. One major drainageway as identified to be within the MN land use in **Figure 2** is defined as a disturbed drainageway. It will be restored per City of Reno code 18.04.104 Drainage Way Protection, as amended and as further defined in the PUD. The final location of the major drainageway will be determined during the tentative map or major site plan review phase.
- iii. The existing Irrigation Ditch will not be significantly impacted as part of this PUD and is proposed to be within the PGOS land use as identified in **Figure 2**.

Offsite Features

Environmental Constraints off site include:

- iv. The Bella Vista I PUD re-aligned Steamboat Creek to the west. The current alignment of Steamboat Creek provides for one continuous and contiguous open space corridor linking all the wetlands and drainages on Damonte Ranch with the wetlands and drainages on the Bella Vista Ranch. The open space/neighborhood park buffer around the existing wetlands proposed in this development will enhance these features further and contribute to the contiguous open space corridor, (refer to “Steamboat Creek” in **Figure 3**).
- v. Feral horses have migrated into this portion of the Bella Vista Ranch since the ranch fences were removed with construction of the Steamboat Creek restoration project. To address this issue, a Feral Horse Protection Plan has been developed for this PUD, (refer to **Figure 15**).

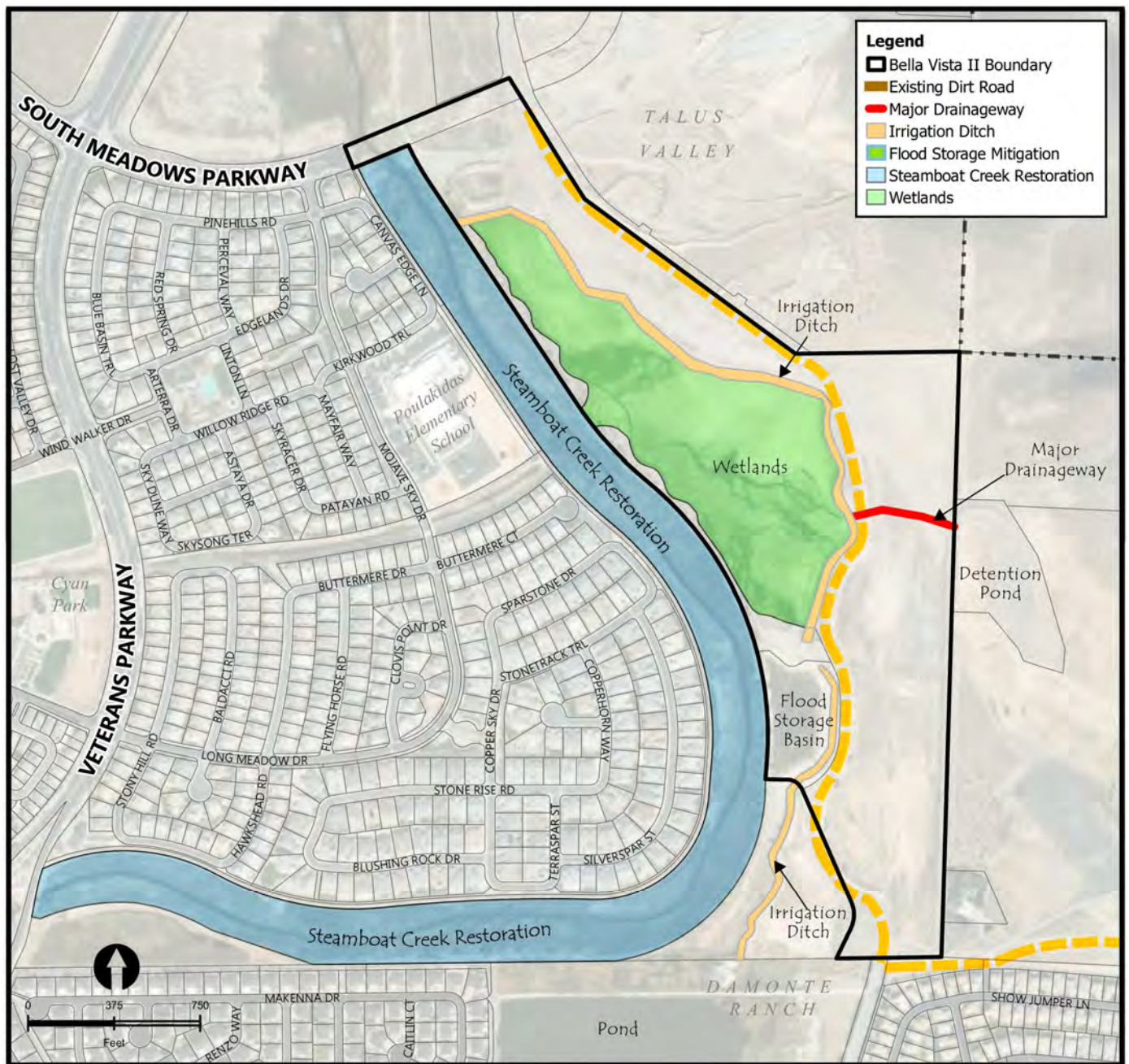


FIGURE 3
Dominant Site Features

C. Phasing

Phasing Strategy

The intent of the phasing strategy is to provide a balanced and effective approach to the buildout of the project. The phasing plan is a statement of the Master Developer's intentions related to the pattern and timing of construction. The phasing described presents a likely and logical sequence for development but may change due to factors including changes in market demands for the various types of land uses, the pace of individual developers and the availability of financing.

It is anticipated that the project will be developed in two (2) phases. The first phase includes the SMU Land Use, in the north half of the site. The second phase includes Mixed Neighborhood (MN) in the south half of the site and the neighborhood park.

Major Infrastructure Phasing

The following represents the Developer's anticipated timing for the construction of the major backbone infrastructure and how it will be phased. It is based on current market conditions and anticipated construction seasons, both of which could change over time. The trunk sanitary sewer, water trunk line, gas, electric, phone and cable distribution facilities will be constructed to serve each phase, (refer to **Figure 4**). On-site public improvements to service individual lots or projects such as, sanitary sewer, water, storm drain, gas, electric and phone shall be constructed with each residential subdivision, multi-family or non-residential building permit.

Mass Grading

Mass grading may occur prior to the design and approval of major infrastructure and/or at the same time as grading on adjacent parcels to allow for the mass grading associated with backbone infrastructure. This is anticipated to occur in Phase I in conjunction with the half street improvements on adjacent parcels. The grading of the Major Drainageway is anticipated to be within Phase 2 and will be completed with the development of the MN land use. During this phase the final location will be determined based on the type of development proposed and would need to be addressed through a site plan review or the tentative map process.

Backbone Roadways

Phase I:

The extension of South Meadows Parkway shall be constructed by the adjacent developer to the north (Talus Valley) or by the Bella Vista II Master Developer, whichever is first. This also may include half street improvements prior to development of the Bella Vista II PUD. The final improvement plans shall be submitted with final maps or with building permit submittal for the extension (refer to **Figures 8A & 8B**). All necessary Right of Way dedication maps, easements, adjacent landscape corridor and sound wall/fencing improvement plans and bonding for the improvements shall be included with the submittal.

The northwest $\pm 1,300$ feet of Rio Wrangler half street improvements shall be constructed by the adjacent developer (Talus Valley). The northeast half of Rio Wrangler Parkway, including sidewalks, landscaping and fencing shall be constructed by the Bella Vista II Master Developer. The northwestern portion of Rio Wrangler Parkway within the SMU will be constructed prior to, or in coordination with, the development of the SMU Land Use.

Phase II:

Prior to approval of the first building permit submittal for any project in the MN Land Use, final improvement plans shall be submitted for review for the south $\pm 2,700$ feet of Rio Wrangler Parkway from the SMU Land Use in the north to the current terminus or Rio Wrangler Parkway to the south (refer to **Figure 5**). All necessary R.O.W. dedication maps, easements, adjacent landscaping, and sound wall/fence improvements shall be included with the submittal.

Construction of Phase A and B of the Backbone Roadways will occur after approval of the plans. Bonding for the improvements shall be provided with the building permit.

Sanitary Sewer Trunk Lines

Prior to approval of the first building permit submittal for any project, final improvement plans shall be submitted for staff review of the sanitary sewer system to serve the site (refer to *Figure 4*). All necessary easements and bonding for the improvements will be included.

Water Main

Prior to approval of the first building permit for any project, final improvement plans shall be submitted for staff review of the water main construction to serve the site, (refer to **Figure 4**). All necessary easements and bonding for the improvements will be included.

Public Amenities Phasing

A ±4.4 acre public neighborhood park, will be constructed prior to the buildout of the MN land use. The open space and 8-foot-wide asphalt trail associated with or adjacent to each phase will be constructed by the Master Developer prior to completion of each phase.

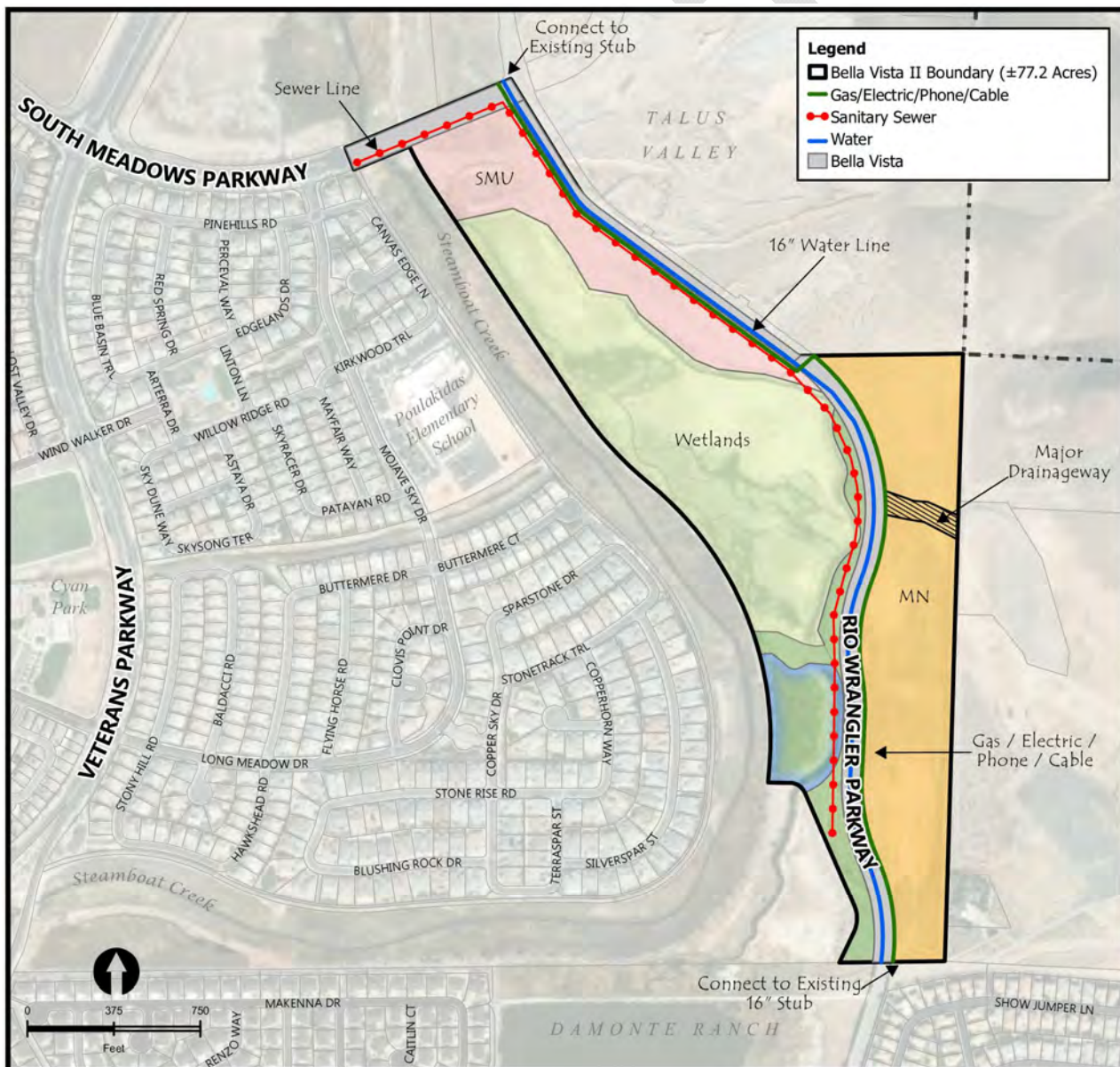


FIGURE 4
Major Infrastructure Phasing

II. SERVICES & FACILITIES

A. Traffic and Circulation Plan

Per the Traffic Study prepared by Headway Transportation on (December 22, 2023), the project is expected to generate 7,752 average daily trips with 545 trips occurring during the AM peak hour and 588 trips occurring during the PM peak hour. Traffic will have some impact on the adjacent street network. However, the proposed improvements will generally improve traffic for the surrounding area with the extension of South Meadows Parkway and Rio Wrangler Parkway. All tentative/final map applications and building permit submissions shall adhere to the recommendations in the Master Traffic Study and include an updated traffic letter with each tentative map/building permit, to show compliance with the Master Traffic Study, (refer to **Appendix A**), street types and design standards are outlined in detail in Section III, Design Standards, Section F.

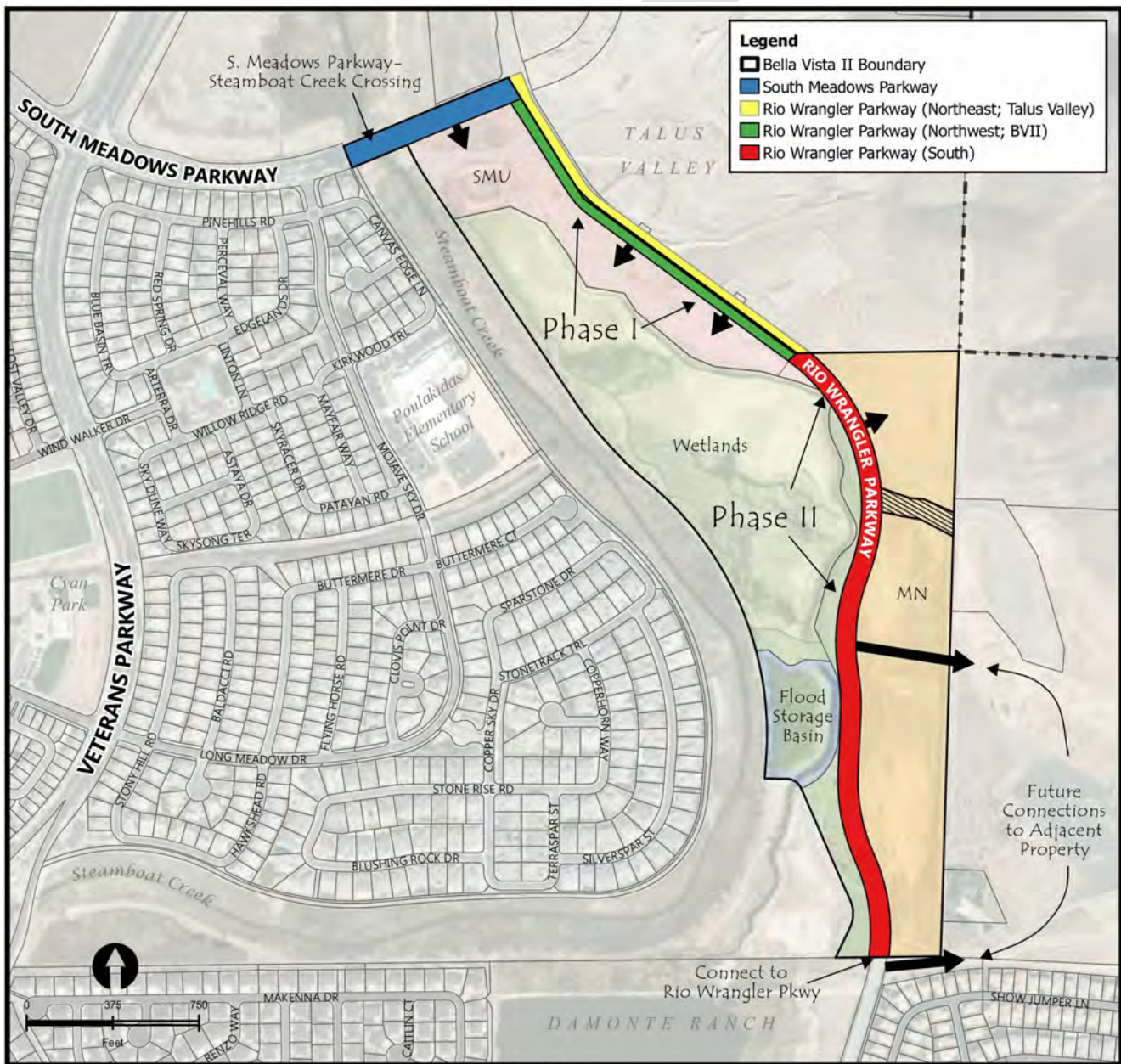


Figure 5
Major Roadways

B. Parks, Trails, and Open Space

A primary objective for this development is the inclusion of strategically located and accessible open space. To accomplish this objective, an interconnected system of sidewalks and trails is planned. The design standards for this pedestrian and bicycle circulation system are contained in Section II.

Parks

A ±4.4 acre neighborhood public park will be located in the south central portion of the project between the open space wetlands and Rio Wrangler Parkway, (refer to **Figure 2**). The park will be passive and will include a maximum one (1) acre of turf area for outdoor play. This park shall be connected to a sidewalk and trail system and provide access to other open space areas and developments throughout the PUD, (refer to **Figure 6**). The park will be constructed by the developer and maintained by the HOA as discussed in the Maintenance section of this PUD. The park will be designed to the approval of the City of Reno and constructed by the property developer.

The developer shall not receive credit towards the Residential Construction Tax (park fees) to construct the park. All Residential Construction Tax fees collected from this project shall be used to construct additional amenities within Cyan Park, located within the Bella Vista Ranch PUD to the west of this project which is within the same Park District. The proposed trail system within this PUD will connect to the adjacent trail networks and provide additional pedestrian connectivity.

The Residential Construction Tax Agreement for this project shall be completed and approved by the Reno City Council prior to or simultaneously with the certification of this PUD. The approved Agreement is attached as appendix H to this PUD. Refer to **Section III**, for additional design standards and implementation requirements.

Trails, Sidewalks, and Bike Lanes

Trails, sidewalks and bike lanes will be provided in accordance with **Figure 6**. Sidewalks and bike lanes will be provided on both sides of the arterial roadways. A pedestrian/bike multiuse trail will be provided along the east side of the wetland consolidation area and linear park. The arterial roadway sidewalks will connect to the trails in the Damonte Ranch area to the south. The arterial roadway sidewalks and pedestrian/bike trails will also connect to the Steamboat Creek Corridor and the parkway trails in the Bella Vista Ranch PUD to the west, (refer to **Figure 6**). The local pedestrian street sidewalks will provide internal connection from the developments to the trails and sidewalks and provide additional pedestrian access over South Meadows Parkway including safe pedestrian access to Nick Poulakidas Elementary School and Depoali Middle School to the west.

Open Space

Open space will be located within and adjacent to natural areas, such as the Steamboat Creek corridor, and manmade open space areas, such as the major drainageway. Trails and sidewalks will be located within the open space and provide connectivity throughout the PUD and connect to existing and proposed trail networks in the surrounding neighborhoods, (refer to **Figure 6**).

C. Wetlands

The delineation of federally protected wetlands on this property was completed with approval of the individual Corps of Engineers permit number # 200400683, (refer to **Appendix C**). One of the two delineated wetlands covered by this permit (WM-1) exist within this PUD (refer to **Figure 2** and **Figure 3**). Any enhancements within wetland area must be consistent with the Final Wetland Mitigation Plan approved by the Corps of Engineers through individual permit listed above under Section 404 of the Clean Water Act and the City of Reno Wetlands and Stream Environment Protection Standards, as amended. The wetland mitigation plan prepared by Gibson & Skordal, Wetlands Consultants dated February 2005, and the 404 permit dated October 2005 is located in Appendix C and includes additional details regarding the mitigation plan. All wetland improvements should also be in compliance with the City of Reno Wetlands and Stream Environment Ordinance, RMC 18.12.1801-1808, as amended.

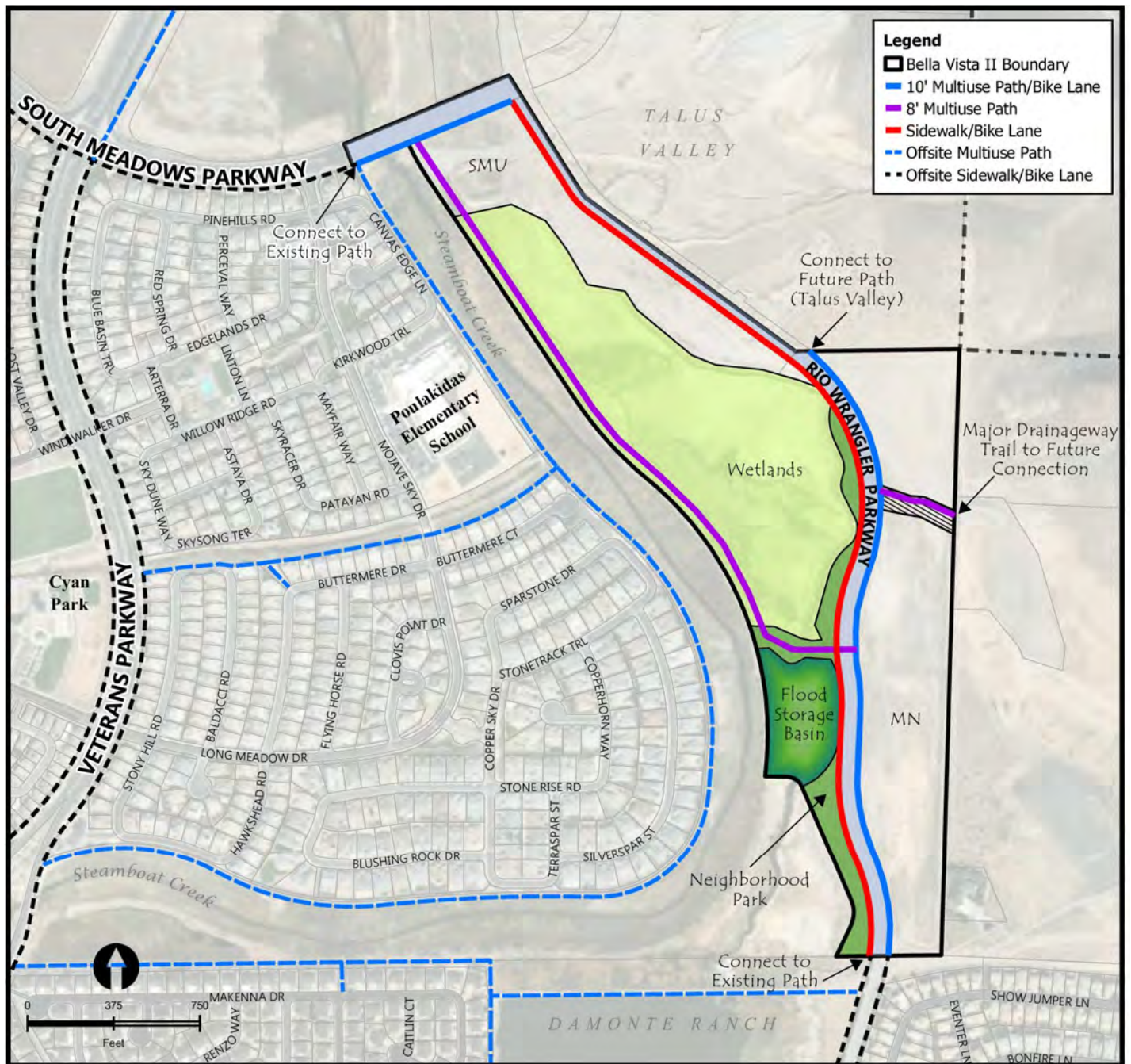


FIGURE 6
Open Space/Trail, Sidewalk and Bike Lane Plan

D. Stormwater Management

Site Drainage

The property slopes to the west/northwest very gradually at a typical gradient of less than half a foot per hundred feet (0.5%). The Steamboat Creek Restoration Project, adjacent to the west side of the site, was designed to provide 5 year and 100 year outfall drainage for the Phase II PUD. The City of Reno Public Works Design Manual and the standard details for Public Works shall be the design standards for on-site storm drainage system designs and construction. All on-site stormwater management and drainage improvements shall adhere to the Flood Control Master Plan prepared by QuadKnopf Consulting, dated January 11, 2006 and all updates or addenda thereto, (refer to **Appendix B**).

Flood Potential

The current Federal Emergency Management Agency (FEMA) DFIRM maps, dated March 2009, indicate that the site is not affected by the Zone A (100-year floodplain) from Steamboat Creek.

Floodplain Mitigation

The Flood Control Master Plan prepared by Quad Knopf Consulting, dated January 11, 2006 specifies how the 100-year floodplain was mitigated, (refer to appendix B). In summary, the approved flood control plan removed the developable portions of the site from the 100-year floodplain by constructing the Steamboat Creek Natural Corridor (SCNC). The current FEMA DFIRM maps dated March 2009 document that the site is not within the 100 year floodplain. Refer to appendix B-3 for a copy of the March 2009 DFIRM map. All floodplain mitigations shall adhere to the Flood Control master Plan and all updates or addenda thereto.

As noted in the QuadKnopf study, the following steps have been completed to remove the project from the 100-year floodplain:

- Approval from the Corps of Engineers of the 404 Individual Permit # 200400683. Permit received February 2005, copy in appendix C.
- Approval of the CLOMR for Phase II by FEMA received August 8, 2007, copy in appendix B.
- Approval of the LOMR for Phase II by FEMA received April 25, 2008, copy in appendix B.

Detention – Flood Storage

The Flood Control Master Plan prepared by QuadKnopf Consulting, dated January 11, 2006, specifies how the detention/flood storage issues are to be addressed for this PUD. (refer to appendix B). All flood storage and detention improvements shall adhere to the Flood Control Master Plan and all updates or addenda thereto.

Flood Mitigation Update

The Steamboat Creek channel work adjacent to the PUD area has been completed with the development of Bella Vista I and will not be changed with the development of this property. The adjacent property to the north (Talus Valley) has an approved CLOMR that addresses the existing and proposed conditions downstream of Bella Vista II. Additional work on the downstream improvements isn't warranted based on the proposed development in Bella Vista II. Therefore, onsite drainage will be addressed appropriately at the time of tentative maps or site plan review when details of the development are known and impacts can be further analyzed.

E. Major Drainageway

The existing drainageway noted in **Figure 3**, is defined as a major drainageway because it drains more than 100 acres. It is also categorized as a “disturbed drainageway”, as defined by Reno Municipal Code. The majority of this drainageway currently runs through the middle of the adjacent property to the east and is undistinguishable topographically. This drainageway terminates as it drains into the existing irrigation tail water ditch just west of the Desert Way (see Figure 3). The portion of the drainageway proposed for development shall be restored per City of Reno code 18.04.104. The Major Drainageway location will be finalized during the tentative map or through a Major Site Plan Review (MSRP).

F. Emergency Services

Police

A police impact fee will be collected for each residential unit and non-residential square foot constructed within the PUD in accordance with RMC Section 18.04.1206.

Fire

The Developer and the City previously executed a Fire Station Development Agreement. This revised agreement is called the First Amended Public Facility Site Agreement and includes development in this PUD as well as the Bella Vista Ranch PUD to the west. This revised First

Amended Public Facility Site Agreement outlines funding fee agreements to help the City provide fire service needs for the PUD. This funding is through a per-household and non-residential square foot fee to be collected at building permit. This revised First Amended Public Facility Agreement was completed and approved by the Reno City Council prior to certification of this PUD. The Agreement is appendix G of this PUD handbook.

The fee shall be paid into a dedicated account for this purpose prior to approval of any building permit for this PUD, as specified in the First Amended Public Facility Site Agreement.

G. Common Area Maintenance

General

This PUD will have Protective Covenants that address maintenance and enforcement of activities and will remain under the control of the Owners Association. These areas include parkways, open space areas and trails along drainage ways located outside of the public right-of-way. Project Protective Covenants (CC&R's) will clearly define maintenance responsibilities of the Owners Association versus the responsibility of individual property owners.

The City of Reno shall not be responsible for maintenance of any onsite private parks, common area improvements, private streets, storm drain channels, detention basins, other flood control facilities or the Steamboat Creek Restoration. The Owners Association or Drainage Maintenance District shall be responsible for maintenance of these facilities.

Drainage District

The Bella Vista Ranch (Phase I) PUD created and established a Drainage Maintenance District called the Cyan Drainage District (CDD), which has the powers and duties to contract for design, construction, and maintenance of drainage facilities throughout the Bella Vista Ranch PUD. This project shall incorporate into the existing CDD the areas identified as Wetlands and Flood Storage Basin in the Land Use Plan (**Figure 7**). It is intended that the project will be incorporated into the existing CDD via an annexation and/or supplemental declaration process.

The CDD shall be required to remove all vegetation from detention basins, flood storage areas, and low flow channels every two (2) years or as allowed by the Corps of Engineers permit. If the CDD fails to perform this periodic maintenance, then the City has the right to enter the property and perform said maintenance. If the City removes the vegetation from detention basins and low flow channels, then the City is entitled to receive reimbursement for these services from the CDD.

III. DESIGN STANDARDS

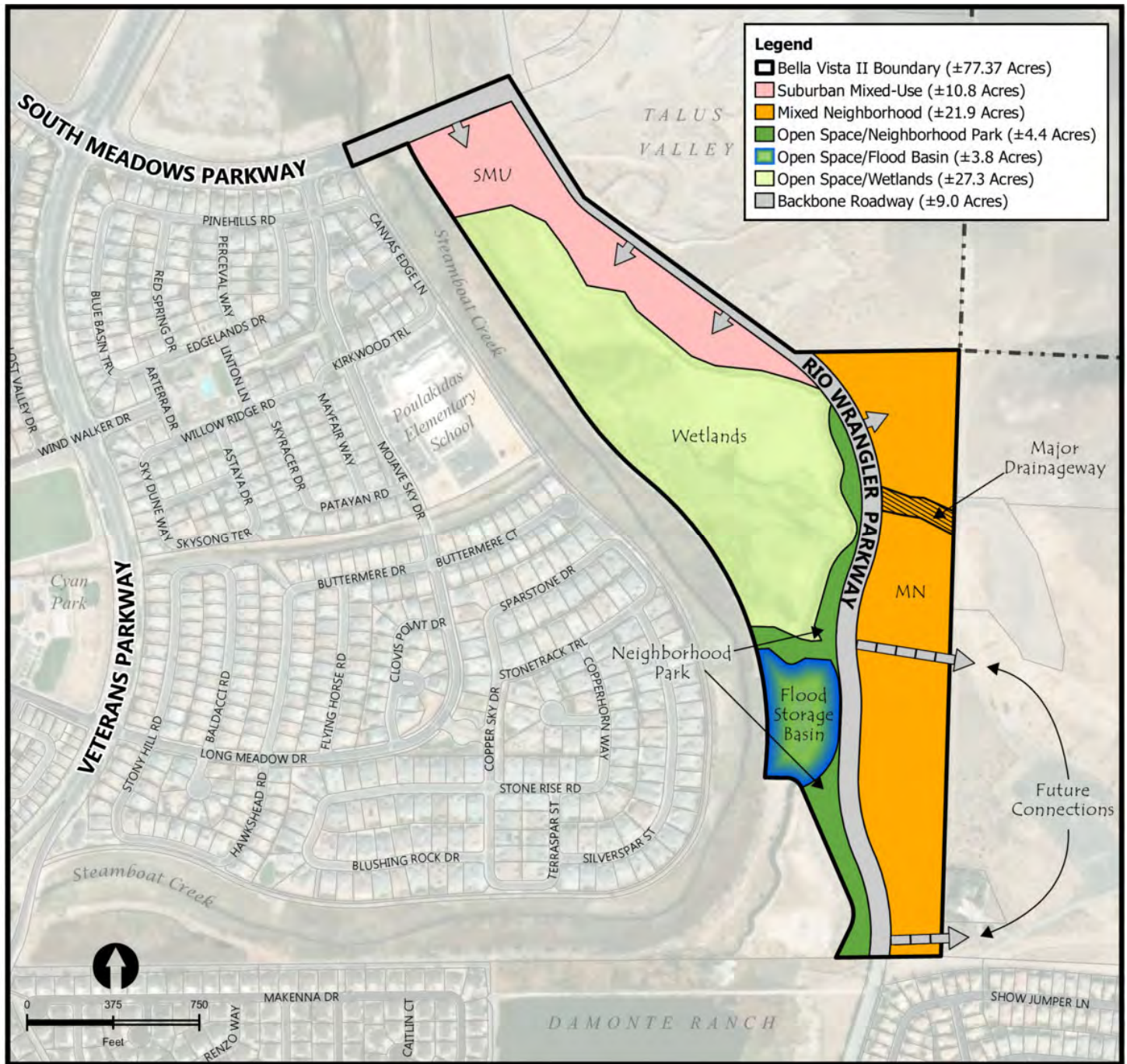


FIGURE 7
Land Use

A. Land Use Descriptions

Allowed uses include detached and attached single family residential, multi-family residential, lower intensity non-residential, parks, greenways/wetlands, and open space. The maximum density, total number of dwelling units and the maximum non-residential square footage for each village is shown on Table 1. The maximum number of dwelling units within the project shall not exceed 609 units (residential) and the non-residential square footage shall not exceed ±117,612 square feet (non-residential).

The Development Plan and Development Standards contained herein are intended to depict the general development vision for the PUD. Sufficient flexibility shall be allowed to permit detailed planning and design at the time of actual development. The acreage of each land use category may be increased by up to 10% if it is demonstrated that additional acreages are necessary due to constraints and/or design considerations to accommodate the project, to the satisfaction of the Administrator. This provision shall not exceed a cumulative total of 10% for each land use category. Changes in excess of 10% shall require an amendment to the Development Standards Handbook. Residential densities and residential dwelling unit allocation may be interchangeable between villages and will be defined fully with the tentative map for any given residential village.

**TABLE 1
LAND USE BREAKDOWN**

Village/Area ⁴	Bella Vista II Land Use ⁵	Size (Acres)	Min. Net Residential Density ³	Max. Gross Residential Density ⁴	Approx. Dwelling Units ¹	Min. Non-Residential Area	Max. Non-Res. Intensity (sq. ft.) ²
SMU	SMU	±10.8	15 du/ac	30 du/ac	324	5 Acres	117,612
MN	MN	±22.0	6 du/ac	30 du/ac	285	N/A	N/A
Neighborhood Park	PGOS	±4.4	-	-	-	-	-
Flood Storage Basin	PGOS	±3.8	-	-	-	-	-
WM-I	PGOS	±27.4	-	-	-	-	-
South Meadows Pkwy/ Rio Wrangler Pkwy	ROW	±9.0	-	-	-	-	-
Total		±77.4			609¹		117,612²

Notes:

1. The total amount of residential dwelling units by Village may vary but shall not exceed 609 units throughout the Bella Vista II PUD.
2. The total amount of non-residential may vary as long as the total floor area from non-residential development does not exceed 117,612 square feet throughout the SMU Land Use and a min of 5-acres is provided.
3. Minimum Net Density is calculated by dividing the total number of lots by the total acreage of lot area.
4. Max Gross Density is calculated by dividing the total number of lots by the total Village acreage.
5. All primary and accessory uses listed as permitted on **Table 2**, can be established by right, subject to compliance with the standards contained in this PUD. With the exception of tentative maps required to sell individual lots, no further discretionary review is required for each permitted unless otherwise stated in Table 2 below.

Suburban Mixed-Use

The Suburban Mixed-Use (SMU) land use category allows a mix of retail, commercial, employment, and high-density residential uses that are more appropriate near the two main arterials (South Meadows Parkway & Rio Wrangler Parkway). The mix of uses will serve the existing surrounding developments and the future developments and provide the area with additional residential opportunities. Trails within

the SMU area will connect to the existing trail network to provide additional transportation opportunities.

Characteristics specific to the SMU area include:

- Buildings oriented along the main arterials.
- Bike and pedestrian connectivity is required throughout the site and connect to existing adjacent facilities.
- Signage will be limited to monument style only along Rio Wrangler Parkway.
- Design standards are outlined in Section D and E.

Mixed Neighborhood

The Mixed Neighborhood (MN) land use category includes a mix of housing types and can range from higher density housing including; multi-family, alley loaded town homes and condos, to lower density housing types including, triplex and duplex attached housing, zero lot single-family, and traditional single-family detached housing. These standards will allow for range of multi-generational housing, innovative designs, and community amenities that will provide a transition between commercial and lower intensity uses.

Characteristics specific to the MN area include:

- Provide a range of housing types
- Within walking distance to amenities such as retail, commercial centers, parks, and schools and connected with by trails and other bike and pedestrian facilities.
- Design Standards are outlined in Section D.

Parks, Greenways, and Open Space

The Parks, Greenways, and Open Space will protect the natural wetlands identified in WM-1 that connect with the floodways and Flood Storage Basin developed in the original Bella Vista PUD and take advantage of the close proximity to the Steamboat Creek. A ±4.4 acre Neighborhood Park will allow active and passive recreation and help to provide a transition with the natural elements of the property, with the development located in Villages 1 and 2. An extensive network of trails and bike and pedestrian paths will connect throughout the PGOS area and provide recreation opportunities to the surrounding and future developments.

B. Permitted Uses

TABLE 2 BELLA VISTA II PERMITTED USES			
<i>P = Permitted by Right</i> <i>SPR = Site Plan Review Required</i> <i>CUP = Conditional Use Permit Required</i> <i>A = Permitted as Accessory Use</i>			
Use Category/Specific Use Type	BVII Land Use		
	SMU	MN	PGOS
Residential			
Dwelling, Single-Family Detached		P	
Dwelling, Duplex	P	P	
Dwelling, Triplex	P	P	
Dwelling, Fourplex	P	P	
Dwelling, Single-Family Attached	P	P	
Dwelling, Multi-Family	P	P	
Dwelling, Live/Work	P	P	
Manufactured Home	P	P	
Assisted Living Facility	P		
Group Home	P	P	
Commercial Sales and Services			
Animal Clinic, Hospital, or Training Facility (No Shelters, Commercial Boarding/Kennels)	P		
Bakery, Retail	P		
Bar, Lounge, or Tavern	CUP		
Carwash	P		
Child Care Center	P		
Cleaners, Commercial	P		
Convenience Store	P		
Financial Institution	P		
Automated Teller Machine, Freestanding	P		
Gas Station	CUP		
General Retail, less than 10,000 Square Feet	P		
Laboratory	CUP		
Medical Facility, Day Use Only	P		
Microbrewery, Distillery, or Winery	P		
Office, General	P		
Personal Service, General	P		
Plant Nursery or Garden Supply	P		
Restaurant	P		
Restaurant with Alcohol Service	P		
Recreation, Entertainment, and Amusement			
Amusement or Recreation, Inside	P		
Public Park or Recreation Area	P	P	P
Lodging			
Hotel	P		
Institutional, Public, and Community Service			
Communication Facility, Equipment Only	P	P	
Library, Art Gallery, or Museum	P		
Public Transit or School Bus Shelter	P	P	P
Religious Assembly	P	CUP	
School, Primary or Secondary (Public or Private)	SPR	SPR	
School, Vocational or Trade	SPR		
Utilities, Major	CUP	CUP	

**TABLE 2
BELLA VISTA II PERMITTED USES**

<i>P = Permitted by Right SPR = Site Plan Review Required CUP = Conditional Use Permit Required A = Permitted as Accessory Use</i>			
Use Category/Specific Use Type	BVII Land Use		
	SMU	MN	PGOS
Utilities, Minor	P	P	P
Industrial, Manufacturing, Wholesale, Distribution and Transportation			
Custom and Craft Manufacturing	P		
Food Processing/Wholesale Bakery	P		
Mini-Warehouse	CUP		
Accessory Uses			
Accessory Dwelling Unit (ADU)		A - SPR	
Caretaker Quarters	A		
Child Care, In Home (1-6 Children)		A	
Child Care, In Home (7-12 Children)		A-SPR	
Community Center, Private	A	A	
Drive Through Facility (Food & Non-Food Service)	A		
Gaming Operation, Restricted	A		
Home Occupation	A	A	
Sidewalk Cafes	A		

Notes and Additional Use Requirements:

- Primary Uses not listed in Table 2 are not allowed, unless approved by the Master Developer and the City of Reno Zoning Administrator.
- Allowed Temporary Uses are as defined in RMC Section 18.08.201 Table 3-1, as amended, under the NC zoning districts for SMU, and Residential for the MN land use, and PGOS in the RMC.
- A CUP is required for uses that open before 6am or stay open past 11pm.
- A CUP is required for uses that require deliveries before 6am or past 11pm.

C. Residential Design Standards

Lot and parcel standards for all permitted residential uses are outlined in **Table 3** and are specific to the land use established in **Figure 7**. The land use establishes the base design standards for each village within this PUD. These standards shall apply to all residential development applications and building permit requests, except parcel maps establishing roadways. Each development application or building permit request shall comply with the design standards for residential in the SMU or MN land use categories. These standards determine the bulk, density, intensity, site and building design standards within the PUD.

Residential uses such as single-family attached/detached, condos, and multi-family dwelling units, and any accessory structures shall be sited on lots/parcels to conform to the minimum lot and parcel standards as outlined in **Table 3**. Standards not addressed on **Table 3** shall be consistent with the NC-Neighborhood Commercial zoning district for SMU (RMC 18.02.310, as amended) and the MF-30 Multi-Family Residential zoning district for MN (RMC 18.02.210, as amended).

TABLE 3 RESIDENTIAL-LOT/PARCEL STANDARDS		
Density/Intensity Standards (a)	SMU	MN
Dwelling Units per Acre Max.(du/ac)	30	30
Landscape Area (Multi-Family/Attached/Condos) (b)	20%	20%
Max. Building Height (feet)	35	35
Minimum Yard & Setbacks (feet)		
Front Yards (b)(c)	10	10
Garage Setback (face of garage)	3 or 20	3 or 20
Side Yards	0 or 5	0 or 5
Rear Yards	10	10
Building Separation	20 (10 if less than 50 units)	
Accessory Structures (d)		
Driveways (feet long)	20	20
Min. usable open space (sf/unit)	100	100

Notes and Additional Requirements:

- Setbacks for Suburban Mixed-Use and Mixed Neighborhood may be modified with a tentative map or a minor/major deviation to address unique housing products.
- Single-family detached products will require the entire front yard to be landscaped. Front yard setbacks for residential projects shall apply to the front face of the house or garage. All garages shall be served by driveways not less than 3 or 20 feet in length. Side loaded garages may meet the same front yard setbacks as the house. Builders may provide for variations (but no less than the minimum setbacks) in front yard setbacks and/or building articulation to create an interesting streetscape.
- Minimum front yard setback shall be 20 feet adjacent to arterial or collector streets.
- Accessory building setbacks shall conform to Reno Municipal Code Title 18.08.203 Table 18.08.9B Bulk, Dimensional, Density and Intensity Standards for accessory structures and uses, as amended and based upon the land use for the project as described in the first paragraph of section III C of this PUD.

Residential Architectural Elements

Exterior Elements

Exterior materials shall include a combination of patterns and textures to provide a range of products with similar styles and architectural accents. Sample material boards shall be reviewed and approved by the BVROA. Siding materials shall be continued down to within 8 inches of finished grade on all elevations to eliminate large areas of exposed foundation. Building materials shall be compatible in scale with the design of the residences. Materials must also be compatible throughout each village.

Exterior Colors

All exterior color schemes as shown on sample color boards, shall be reviewed and approved by the BVROA. Exterior colors shall be in harmony with the natural setting. Color intensity shall be kept low for large surfaces.

Facades and Articulation

Architectural features such as: varying window sizes and shapes, shutters, broken planes and pitched roofs, covered entries and porches, porch rails, columns and trim detailing help to define the fronts of the homes and garages; and shall be incorporated into the design of the residences.

Large blank walls, roofs, non-articulated garage doors, are not permitted. Side entry garages are permitted.

Building materials and architectural features, compatible with the front of the houses shall be provided on all sides of the homes. Rear and side elevations adjacent to common open space areas shall be finished in a similar manner as the front elevations, subject to review and approval by the BVROA.

Roofs

Roof colors shall be consistent with the color scheme of the buildings. Varying pitched roofs are encouraged. A variety of pitched roofs may be provided. The BVROA shall review and approve the color palette of roofing within each village.

Roof materials shall be applied to comply with snow load and high wind standards. Materials may include:

- 1) Concrete or clay tile (flat or barrel),
- 2) Non-reflective architectural metal,
- 3) 40-year architectural grade composition shingles,
- 4) 40-year fiberglass composition shingles

Roof materials, however, must be consistent throughout each village.

House Plans

Each village shall have a minimum of four distinct house plans. House design shall vary throughout each village with no one elevation repeated for abutting homes, or mirrored across the street. Adjacent lots may share the same floor plan, but must have different elevations.

Exterior Lighting

Lighting shall be integrated with the architectural design of the individual residences. Lights shall be shielded to prevent light spillage onto adjacent properties or streets.

Flood lights are not permitted. Motion detector actuators are permitted with designer fixtures only and subject to approval by the BVROA.

Miscellaneous Design Elements

Awnings, Trellises, Patio Covers, Decks and Other Accessory or Ancillary Structures

Awnings, trellises, patio covers, second story decks and other accessory or ancillary structures including granny flats and casitas, provided by builders, shall be consistent in material, color and architectural character as the main structure and must be reviewed and approved by the BVROA. Protrusions into the setback will be allowed in accordance with RMC, as amended

Chimneys

Exterior materials of chimneys shall be compatible with the exterior materials and colors used on the house.

D. Non-Residential Design Standards

Lot and parcel standards for all permitted non-residential uses are outlined in **Table 4** and are specific to the land use established in **Figure 7**. The land use establishes the base design standards for each village within this PUD. These standards shall apply to all nonresidential development applications and building permit requests, except parcel maps establishing roadways. Each development application or building permit request shall comply with the design standards for nonresidential in the SMU or PGOS land use categories. These standards determine the bulk, density, intensity, site and building design standards within the PUD.

Non-residential structures and any accessory structures shall be sited to conform to the minimum lot and parcel standards as outlined in **Table 4** below or can be modified with a tentative map or a minor or major deviation to address unique products.

TABLE 4 NON-RESIDENTIAL – LOT DEVELOPMENT STANDARDS		
Density/Intensity Standards	SMU	PGOS
Floor Area Ratio (FAR) Max.	None	N/A
Landscape Area	20%	20%
Building Height (feet)	35	35
Lot Size		
Minimum Lot Width (feet)	None	
Minimum Lot Size	None	
Yard & Setback Dimension		
Front Yards (feet) (c)	10	20
Side Yards (feet)	0 or 10	0 or 10
Rear Yards (feet)	10	15
Building Separation (feet)	20	20
Setbacks from Adjacent Residential Uses		
All Yards (feet)	20 or height of building, whichever is greater	

Notes:

- All architectural design standards per Reno Municipal Code 18.08.301 (a) (10), and 18.12.305(b) as amended.
- Front yard setbacks adjacent to Rio Wrangler Parkway shall be 25 feet.

E. Street Design Standards

Streets within this PUD include arterials, collectors, and local streets as identified in **Figure 5**, Major Roadways. The Master Developer will be responsible for construction of the arterial and collector streets and associated improvements. Arterial/collector streets shall be improved with paving, curb, gutter, sidewalk, fencing and landscaping in accordance with **Figures 8A, 8B, 9A, 9B, 10A, and 10B**. Local streets and associated improvements will be constructed by the developer. Local streets are defined as public or private streets within individual villages and will be identified during the tentative map or building permit process. Local Streets are not depicted in **Figure 5**.

Intersection Spacing

The on-site residential collector streets and local streets intersecting South Meadows Parkway and Rio Wrangler Parkway shall meet Regional Transportation Commission (RTC) spacing requirements for moderate access control arterials. An updated traffic letter supporting the Traffic Report shall be required to be submitted with each tentative map or building permit to determine intersection design. The intersection locations depicted in **Figure 5** are subject to change and will be finalized during the tentative map process.

Arterial Streets (South Meadows Parkway)

South Meadows Parkway extension will include the extension of South Meadows Parkway from the existing terminus in Bella Vista. This will include a culvert crossing over Steamboat Creek and eventually connect to Rio Wrangler Parkway. There are two cross sections proposed which will be designed to arterial street standards as outlined in **Figure 8A & 8B**.

Since this street is planned for in the adjacent property (Talus Valley), the Bella Vista II Master Developer shall only be responsible for half street improvements. Once complete, South Meadows Parkway shall be improved with paving, curb, gutter, sidewalk, fencing/sound walls (where applicable), and landscaping. The Master Developer South Meadows Parkway will construct two travel lanes, a bike lane, and a 10-foot wide shared use path for the South Meadows Parkway Steamboat Creek Crossing (**Figure 8B**), and the remaining portion of South Meadows Parkway will include the center 14 ft. landscaped median, south 2 lanes, and south 21-feet of landscape with a 10-foot wide shared use path (**Figure 8A**). The north half of South Meadows Parkway will be constructed by others (Talus Valley).

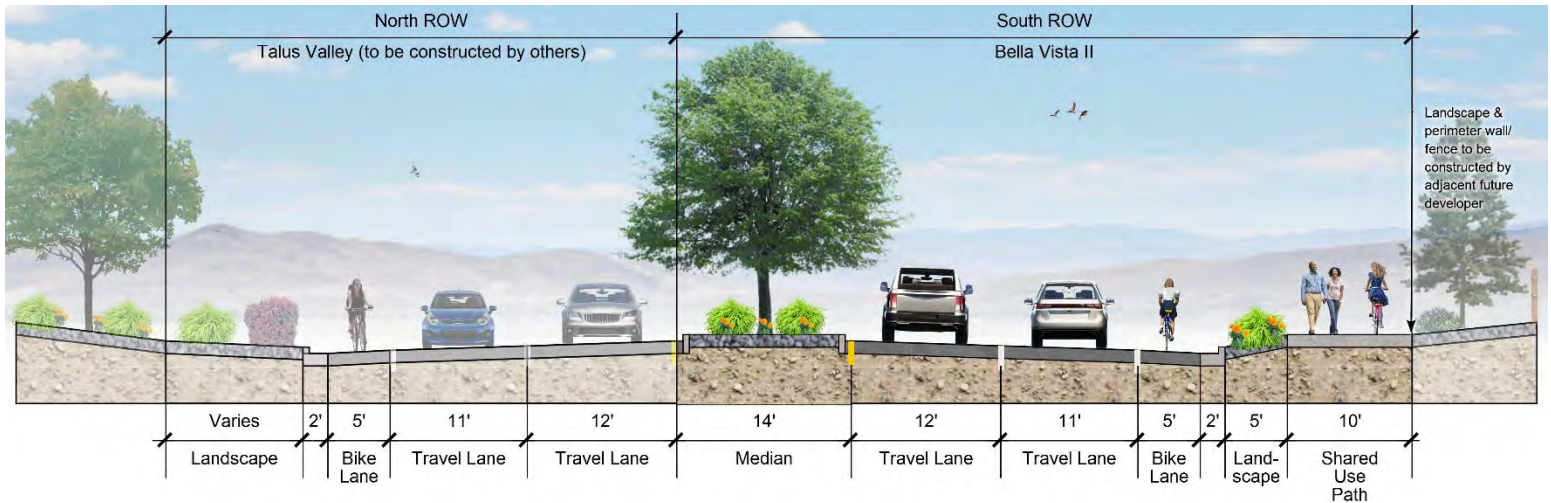


Figure 8A
South Meadows Parkway

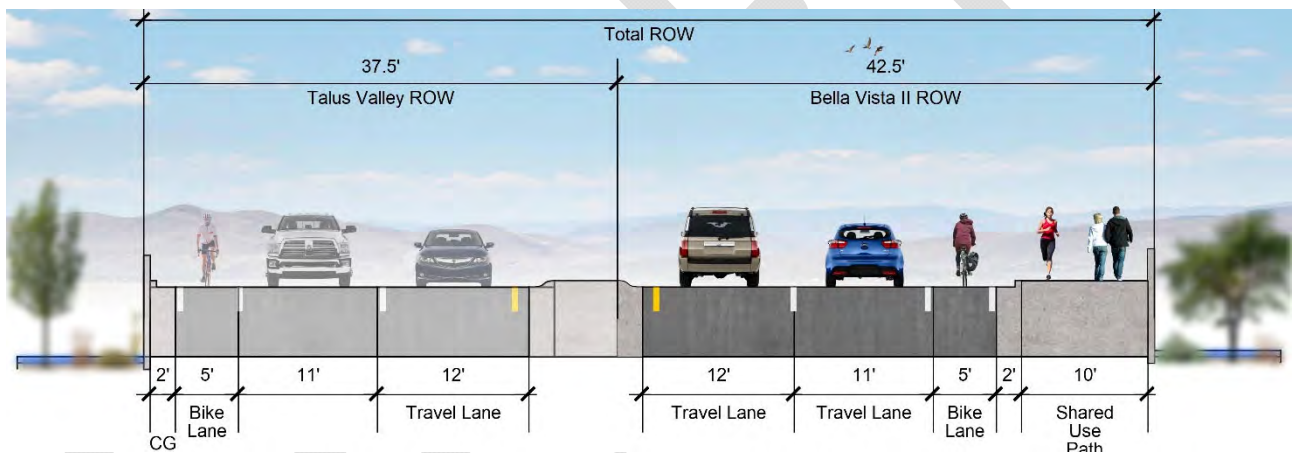


Figure 8B
South Meadows Parkway – Steamboat Creek Crossing

Arterial Street Parking and/or Direct Residential Access

On street parking and/or direct residential driveway access is not permitted on arterial streets.

Arterial Intersection Entry Treatment

Intersections of arterial with designated major or village entrances are encouraged to incorporate signage and enhanced landscape.

Arterial Street Fencing/Walls

Required fencing/wall design and materials shall be in accordance with **Figure 12**. Required fencing design and materials, including alternative fencing design shall be in accordance with **Figure 11**.

Solid fencing, six (6) feet in height shall be consistent throughout the project in accordance with **Figure 11**. When changes in elevations occur, fences shall be stepped in equal intervals, rather than sloped. Fencing along arterial/collector streets shall include pilasters, spaced at least every 80 feet. Fencing along Arterials Streets adjacent to a non-residential use are not required.

Arterial Street Signs

All street signs, traffic signs and directional signs that control vehicular traffic along arterial streets shall

be standard city signs with standard posts.

Arterial Street Utility Standards

Above ground utility appurtenances shall be screened from public view from all streets. Screening shall be accomplished with the use of berms, walls, fences, blending colors and/or vegetation. If fences or walls are used, materials shall be consistent with arterial and collector walls or fencing and rock veneer walls.

Utility buildings and structures shall be designed to fit into the architectural character of the adjacent residential or non-residential community. Where feasible, utility appurtenances and buildings shall be located in planter areas and not in turf areas.

Arterial Street Horizontal, Vertical and Pavement Section Design

Design of arterial roadways shall be per the City of Reno Public Works Design Manual. The exception is intersection spacing, which shall be provided in accordance with RTC standards.

South Meadows Parkway Crossing of Steamboat Creek

The South Meadows Parkway crossing of the Steamboat Creek design details shall include exterior treatments and railings as approved by the Army Corps of Engineers through their individual permit and to the satisfaction of city staff. Design details for this crossing shall be submitted with improvement plans for the construction of the south half of South Meadows Parkway. This section maybe completed by the Master Developer or by others (Talus Valley).

Arterial Street Landscape/Streetscape

Landscape will be designed in accordance with Reno Municipal Code Sections 18.04.801 through 18.04.809, as amended.

Collector Streets (Rio Wrangler Parkway)

Rio Wrangler Parkway will be constructed to collector street standards as outlined in **Figure 9A and 9B**. Rio Wrangler Parkway will run north to south from the future extension of South Meadows Parkway to the current termination of Rio Wrangler Parkway in Damonte Ranch.

Rio Wrangler is proposed to be completed in two phases. Phase A will include the northwest $\pm 1,300$ foot section of Rio Wrangler Parkway and will be constructed with only half street improvements within the Bella Vista II PUD, (**Figure 9A**). This will include half of the center landscaped median, the west lane (southbound), west bike-lane, and the west 20 feet of landscape, sidewalk and fence improvements, (all landscaping, retaining and walls/fence shall be maintained by the project HOA). The eastern portion of half street improvements will be completed by others (Talus Valley).

The southern $\pm 2,700$ feet of Rio Wrangler Parkway will include full street improvements as identified in **Figure 9B**.

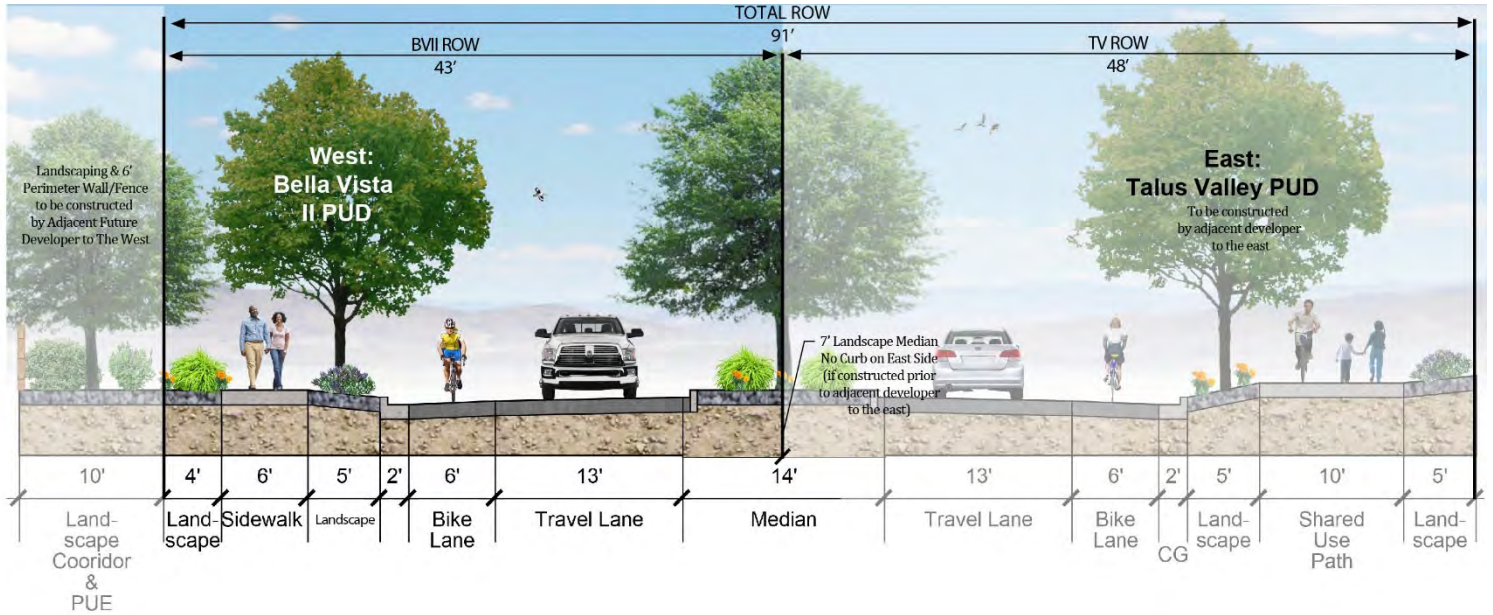


Figure 9A
Collector Street Section- Rio Wrangler Parkway (Phase A)

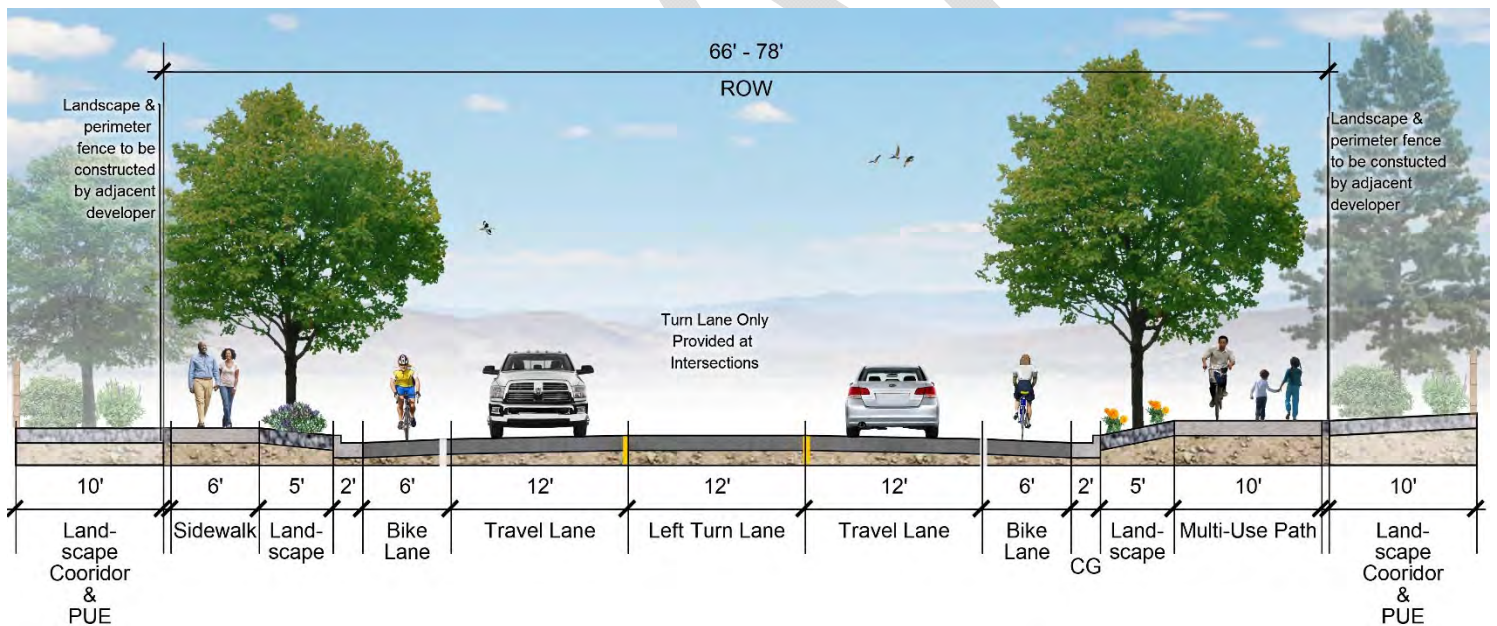


FIGURE 9B
Collector Street Section – Rio Wrangler Parkway (Phase B)

Collector Street Parking and/or Direct Residential Access

On street parking and /or direct residential parking access is not permitted on arterial streets.

Collector Street Sidewalk/Trail Connections

Sidewalks/Trails along collectors for all projects shall be connected to sidewalks within residential and non-residential villages and arterial streets, collector streets and sidewalk trails within access easements to open space paths, as appropriate.

Collector Street Fence or Equivalent

Collector street fence design and materials shall be in accordance with **Figure 11**. As an alternative, a 4-foot or higher change in elevation from the roadway to adjacent lots, combined with a 4-foot fence, may be substituted to provide views of the wetland corridor and linear park. All fencing, landscaping, and sidewalks along arterial/collectors shall be maintained by the project Owners Association.

Solid fencing, six (6) feet in height shall be consistent throughout the project in accordance with **Figure 11**. When changes in elevations occur, fences shall be stepped in equal intervals, rather than sloped. Fencing along collector streets shall include pilasters, spaced at least every 80 feet. Fencing along Collector Streets adjacent to a non-residential uses are not required.

Collector Street Intersection Entry Treatment

Intersections of collectors are encouraged to include signage and enhanced landscape for village entrances.

Collector Street Signs

All street signs, traffic signs and directional signs that control vehicular traffic along collector streets shall be standard City signs with standard posts.

Collector Street Utility Standards

Above ground utility appurtenances shall be screened from public view from all streets. Screening shall be accomplished with the use of berms, walls, fences, blending colors and/or vegetation. If fences or walls are used, materials shall be consistent with arterial and collector fencing and rock veneer walls.

Utility buildings and structures shall be designed to fit into the architectural character of the adjacent residential community or non-residential development. Utility appurtenances and buildings shall be located in planter areas and not in turf areas, where feasible.

Collector Street Horizontal, Vertical and Pavement Section Design

Design of collector roadway shall be per the City of Reno Public Works Design Manual. The exception is intersection spacing, which may be provided at ¼ mile intervals.

Collector Street Landscape/Streetscape

Landscape will be designed in accordance with Reno Municipal Code Sections 18.04.801 through 809, as amended

Local Streets

Local streets are defined as any street including project entry streets, cul-de-sacs and loop streets within an individual residential village or non-residential project. Local Residential/Pedestrian and local streets may be public or private, to be determined at the time of Tentative Map or building permit submittal and approval. Local streets shall be constructed by the builders of each individual village. Village entrances will be constructed by the Master Developer or at the Master Developer's discretion, the builder of each individual village.

Alternative local street sections may be proposed during the tentative map process to accommodate unique housing types or to accommodate off street parking. Alley's may be designed in accordance with the City of Reno Public Works Design Manual.

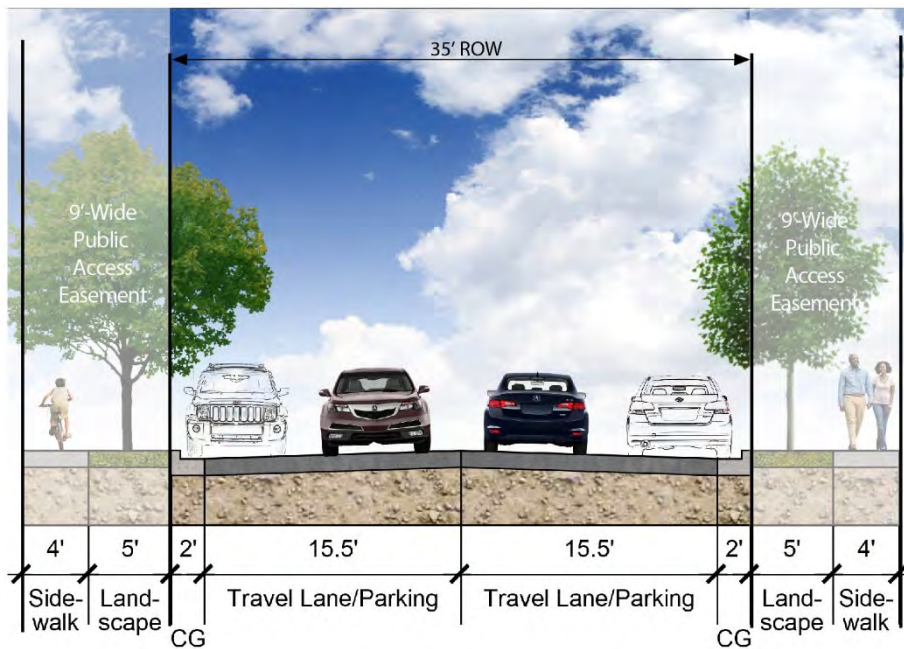


FIGURE 10A
Residential and Non-Residential Local Street (Pedestrian)

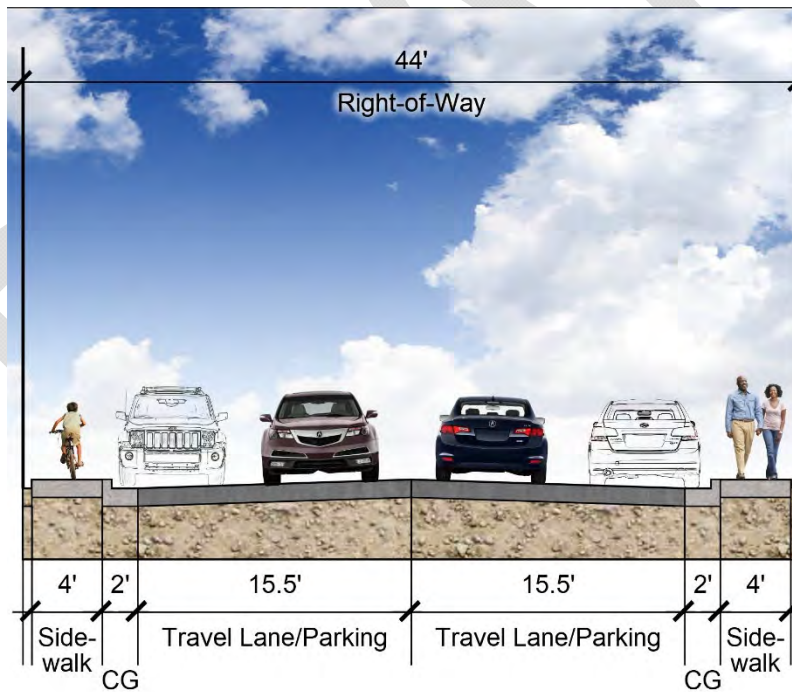


FIGURE 10B
Residential and Non-Residential Local Street

Local Street Improvements

Local public streets shall be improved with paving, curb, gutter landscaping and sidewalks as applicable in accordance with **Figure 10A & 10B**.

Alternate street sections including private street or streets with landscaped parkways may be provided by the individual builder subject to approval by the Master Developer and the City of Reno at the time of tentative map or building permit review.

Local Streets Parking and/or Direct Access

On street parking and/or direct residential driveway access within villages is permitted.

Local Street Sidewalk Connections

Sidewalks within villages for all projects shall be connected to sidewalks along arterial streets, collector streets and sidewalk trails within access easements to open space paths, as appropriate. The City of Reno shall approve all connections with each tentative map or building permit submittal.

Local Street Fencing

Fencing adjacent to local residential/pedestrian and local streets shall comply with requirements outlined under Arterial/Collector street fencing as specified in **Figure 11** of this PUD.

Local Street Signs

All street signs, traffic signs and directional signs that control vehicular traffic along local streets shall be standard city signs with standard posts.

Local Street Landscape/Streetscape

Landscape will be designed in accordance with Reno Municipal Code Sections 18.04.801 through 809, as amended.

F. Major and Village Entrances

Entry monuments may be provided on arterials and collectors for each village or project entrance. The Developer will be responsible for construction of the major and village entrances. The BVROA will ultimately be responsible for the maintenance of the major and village entrances. The individual villages will utilize entrance concepts that include monumentation signs, lighting, fencing, and landscaping. If a private gated entrance is desired, builders must submit specific plans for median modifications and gates to the City of Reno for review and approval with each tentative map or building permit as applicable.

Additional details regarding signs, lighting, landscaping, and fencing are outlined below;

Signs

Each sign may include the name of the individual village and the master project name and logo. Builder names may not be listed on the signs. All signs shall meet the requirements of RMC Chapter 18.05 as amended.

Lighting

Entrance signs may be lighted with ground mounted direct lighting sources. No internal illumination of signs shall be permitted.

Landscaping

All major and village entrances shall be enhanced with irrigated landscaping in accordance with Reno Municipal Code Sections 18.04.801 through 809, as amended.

G. Open Space and Public Park Design Standards

Open Space

Open space includes the Wetlands Consolidation Corridor, major drainageway, parks, pathways, trail access parcels to open space and other open space land that is not developed with roadways, or located on individual lots within the residential or non-residential portion of this PUD. Common open space, including the park and trails, shall be open and available for use by the general public

(unless located in a private gated community). These facilities shall be maintained by an Association or the Cyan Drainage District (CDD).

Public Park

The public park will be designed to the approval of the City of Reno and constructed by the project Developer or the City of Reno. The Developer shall not receive credit towards the Residential Construction Tax (park fees) to construct the park. The park will not be dedicated to the City of Reno. The park will be approximately 4.4± acres in size and will be located in the south-central portion of the Bella Vista II PUD (refer to **Figure 7**).

All Residential Construction Tax fees collected from this project shall be used to improve the park in the Bella Vista Ranch PUD (Cyan Park) located to the west of this project, which is located within the same Park District.

I. Facilities

A minimum of three (3) of the following facilities will be constructed within approximately 3.0 acres of the park:

- Picnic Areas (to include tables and benches)
- Par Course (exercise equipment)
- Play Structure
- Horseshoes or similar amenities of scale (as approved by the administrator)
- Turf Open Play Areas (maximum of 1 acre in size)
- Trail Head/Parking Area along a public street

The following facilities will be constructed in the remaining portion of the park:

- Trails
- Native vegetation and existing un-disturbed vegetation
- Seating/viewing areas

II. Timing and Implementation

Provide plans for construction of the park to the City, including the above amenities, with application for the first residential building permit. Complete construction of the park improvements within one year of the date of City approval of the park construction plans. The applicant may request one, 1 year time extension (2 total years) to complete the park improvements without amending the PUD.

III. Fencing

Fencing associated with the park, may be provided adjacent to or within the park. The following area or activity delineation fencing shall be provided:

- 1) Split rail fencing as depicted in **Figure 14A**.
- 2) Vinyl coated brown chain link fencing associated with sports fields or courts.
- 3) Rockery walls and/or rock veneer walls consistent with the streetscape walls.

IV. Landscape

The park will be landscaped and irrigated in accordance with Reno Municipal Code Sections 18.04.801 through 809, as amended. Evergreen massing is encouraged adjacent to residential lots.

V. Lighting

All lighting shall be approved by the City of Reno and shall utilize state of the art “dark sky lighting” techniques. Lighting in the park shall be minimized where possible but may include the following:

- 1) Parking Lot Lights – Fully shielded lighting including “shoebox” style lights shall be provided in parking lots and shall not exceed 20 feet in height.

VI. Pathways

Pathways within the park shall connect to sidewalks within the individual villages, sidewalks

within trail access areas, open space trail pathways and sidewalks along arterial streets as appropriate. Pathways to and from individual lots are not permitted. A pathway/sidewalk circulation and connection plan to the park shall be reviewed and approved by the city with each tentative map or building permit.

VII. Utilities

Above ground utility appurtenances shall be screened from public view. Screening shall be accomplished with the use of berms, fences, walls, blending colors, and/or vegetation.

Utility buildings and structures shall be designed to fit into the architectural character of the adjacent development. Utility appurtenances and buildings shall be located in planter areas and not in turf areas. All utilities must meet the design standards outlined in **Table 4** of this PUD.

H. **Fencing Plan/Design Standards**

A combination of fencing types will be used throughout the Bella Vista Ranch II to provide consistency and to help protect the open space throughout the development. Furthermore, fencing/walls along the arterial and collector streets will help separate the villages and provide privacy and help to reduce traffic noise. Walls/fences along arterial/collector streets adjacent to non-residential development is not required.

The following types of fences are proposed throughout the development as depicted in **Figure 11** below:

- Masonry Sound Wall with Pilaster
- Arterial /Collector Street Fence
- Split Rail/Open Metal Fence
- Temporary Feral Horse Fence

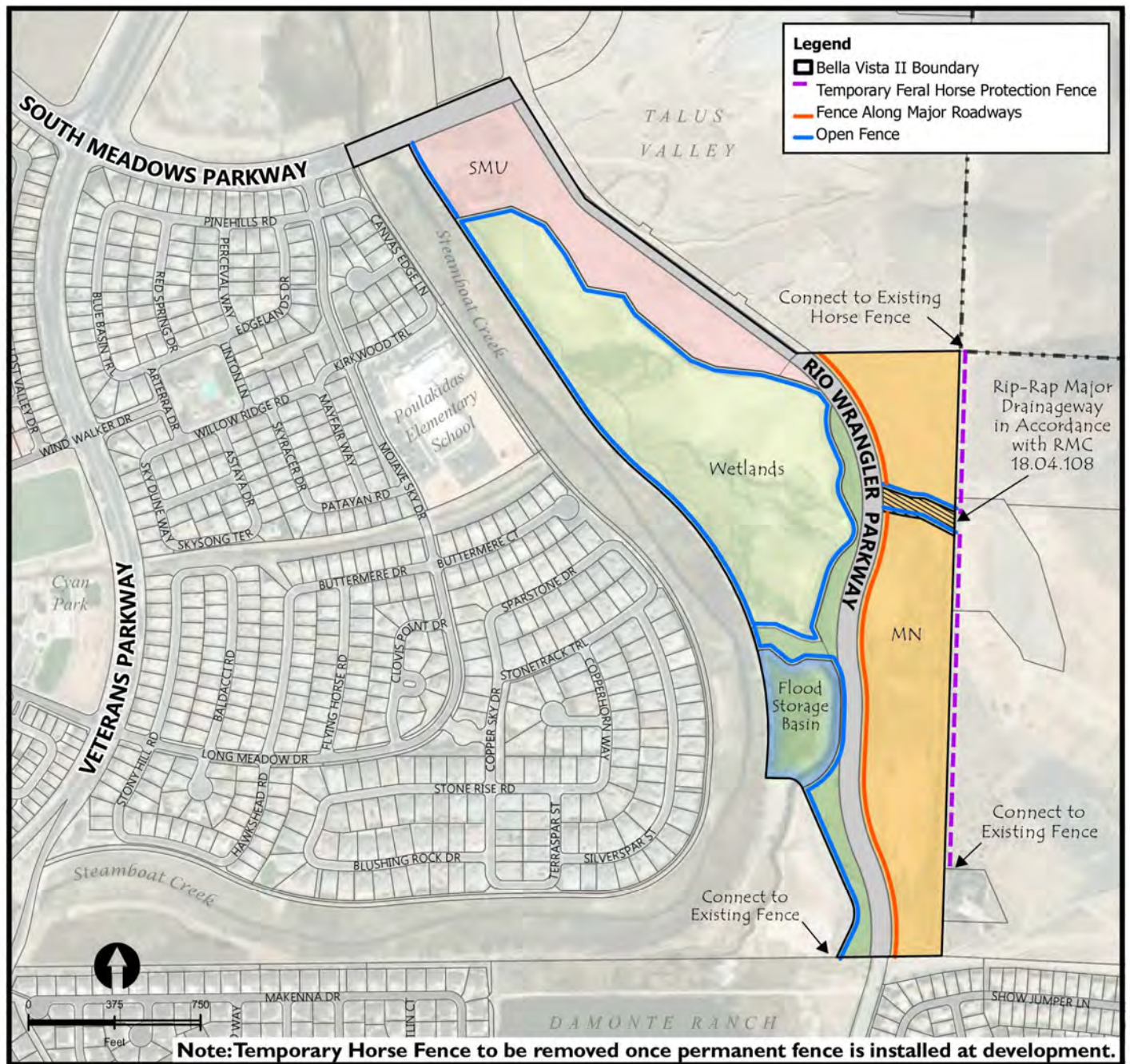
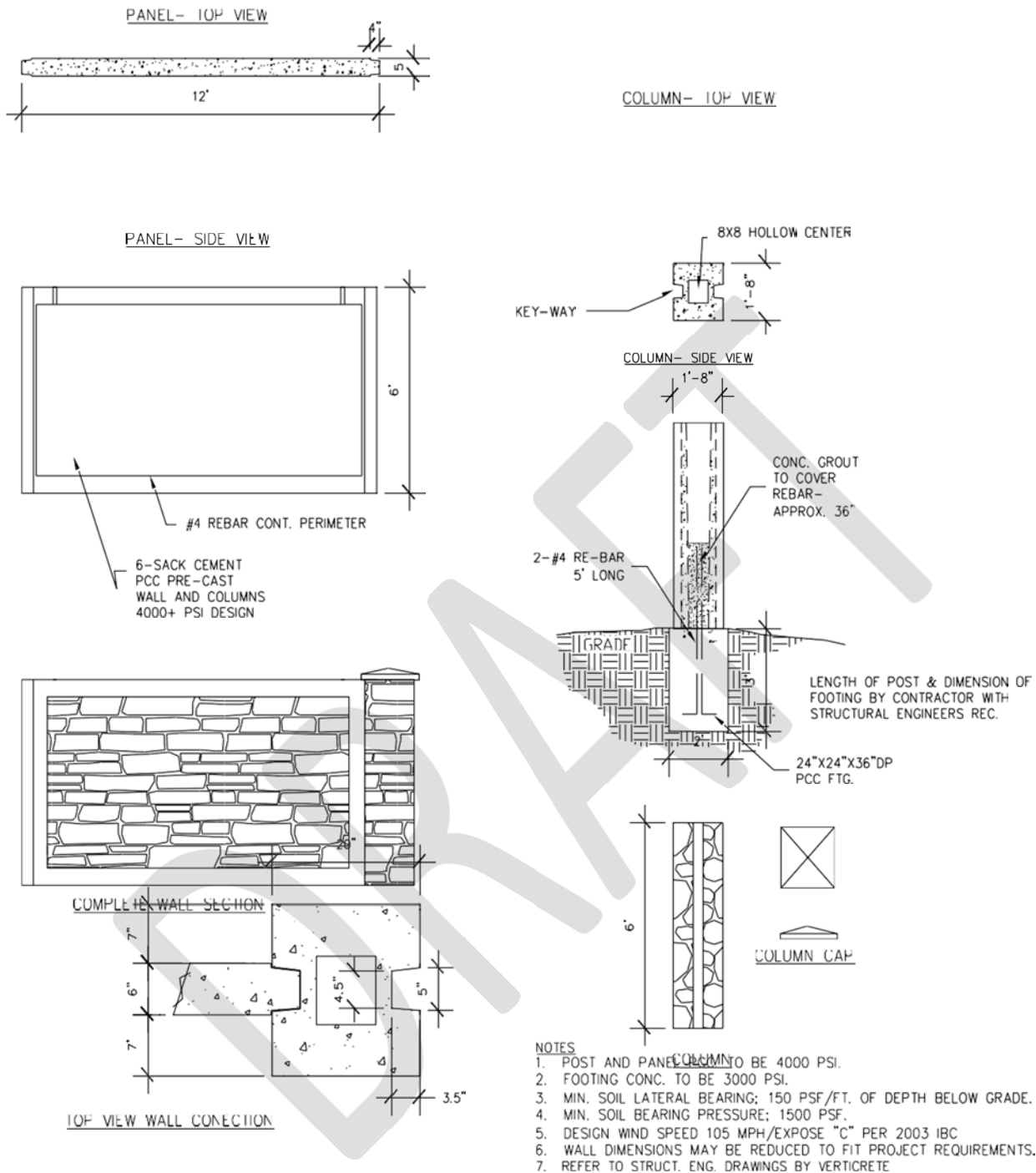


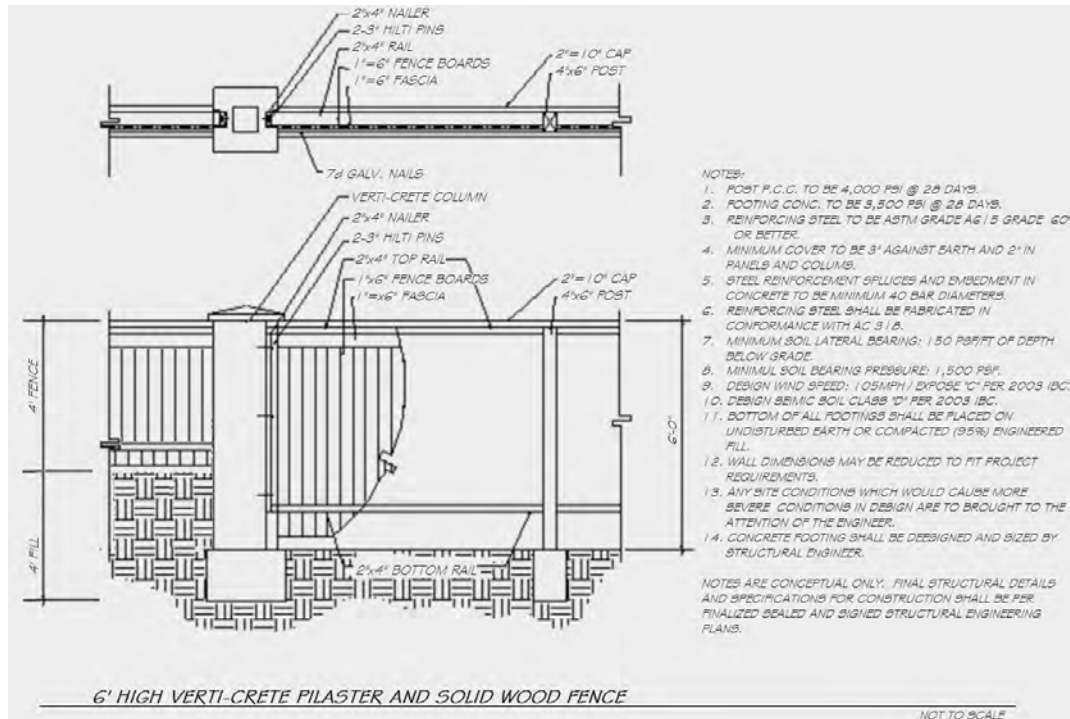
FIGURE 11
Fence Locations



VERTI-CRETE PRE-CAST SCUNDWALL

not to scale

FIGURE 12
Masonry Sound Wall with Pilaster



NOTES:

1. See **Figure 11**, for Typical Locations.
2. The alternative 4 foot fence section and 4 feet of vertical grade change shall include the pilasters and all other details of the standard 6 ft. fence.

FIGURE 13
Arterial/Collector Street Fence

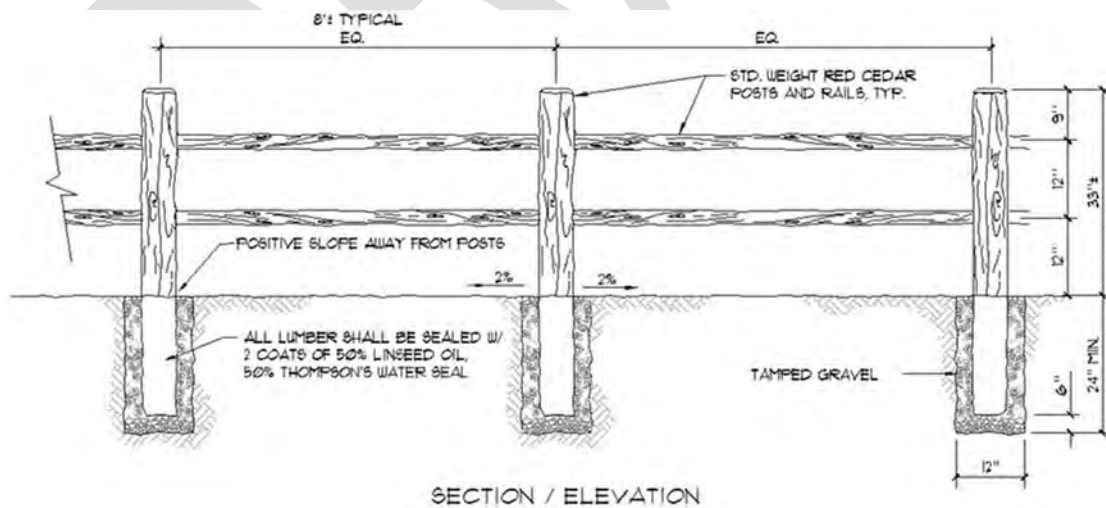


FIGURE 14A
Split Rail Fence

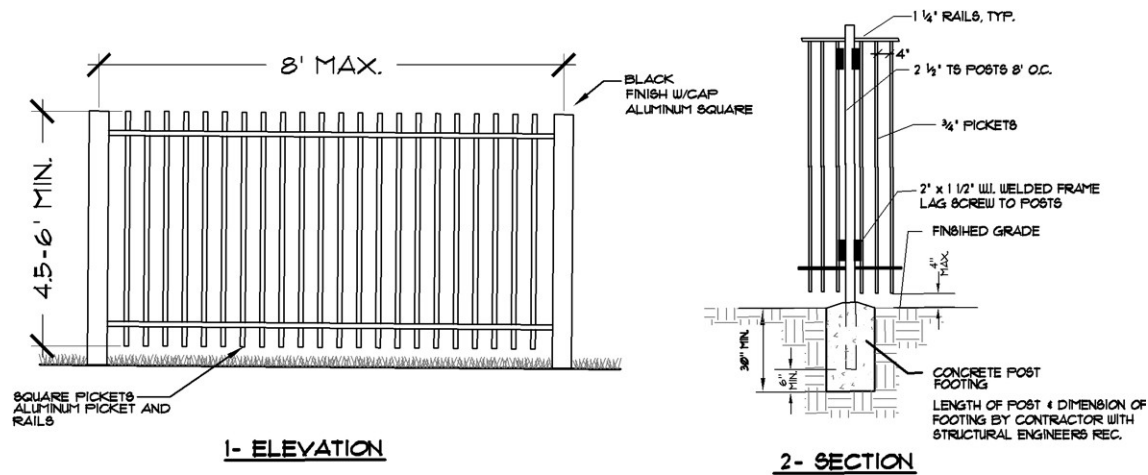


FIGURE 14B
Open Metal Fence

Open Fence types will be between the major drainageway and open space areas and residential lots shall be provided for delineation purposes throughout the project. Fencing shall consist of open metal and split rail fencing. (refer to **Figure 14A & 14B**). Open metal fencing shall be used at rear and side yards adjacent to the major drainageway and open space areas. Split rail fencing shall typically be used in front yard setbacks to delineate private lots vs. public open space areas. It will also be used along trails to provide separation from streets and wetland areas along the open space corridor, (refer to **Figure 11**).

Fencing of common open space will be associated with rear and side yards of individual lots located adjacent to open space, the major drainageway and streets. Additional fencing, may be provided by the builder of each village, if locations and fence types are approved by the City of Reno prior to the approval of the applicable tentative map or building permit.

I. Major Drainageway Design Standards

The major drainageway has been identified as a disturbed major drainageway and will be restored per City of Reno code 18.04.104 Drainage Way Protection, as amended. For any development proposed in the MN land use designation and within the area identified in **Figure 7** as 'Major Drainageway', improvement plans shall be submitted detailing the location/relocation plans for the entire major drainageway corridor. These shall either be submitted through the Tentative Map or Major Site Plan Review process.

Major Drainageway Edge Treatments

Transitional landscaping will be utilized to blend the ornamental landscape associated with residential lots or non-residential development and the natural revegetated drainageway area. This transition area will average ten (10) feet in width along edges without a trail and eighteen (18) feet in width with a trail (Refer to **Figure 11**). All revegetation specifications shall be approved by the City of Reno with each adjacent Final Map or building permit.

Signage

Signage to discourage users from entering sensitive areas will be provided adjacent to Steamboat Creek and drainage way areas. Pedestrian oriented signs shall be compatible throughout the entire Bella Vista Ranch PUD. The signage plans shall be submitted for approval to City Parks staff, prior to approval of the first Final Subdivision Map or issuance of building permit.

Site Furnishings

Site furnishings such as benches and trash receptacles will be placed along the pathway areas

every 1,000 feet along channels, subject to approval by the City of Reno with each Final Map or non-residential building permit as applicable.

J. Common Open Space Design Standards

Common open space includes land located within the linear open space corridor and/or drainage way areas, and adjacent to residential lots or streets. An open space trail network is provided within the project and is shown on **Figure 6**.

Landscaping

Landscaping and irrigation shall be provided on common open space that is located between residential lots and streets or adjacent to the major drainageway and other open space areas. Landscaping within these defined areas shall be provided by the builder of each village that abuts common open space in accordance with Reno Municipal Code Sections 18.04.801 through 809, as amended.

Pathways and Trails

Pathways adjacent to the major drainage way and along Steamboat Creek shall be asphalt, a minimum 8 feet in width (refer to **Figure 6**). Pathways will be constructed by the Master Developer or at the Master Developer's discretion, the builder of each abutting village. Village builders shall ensure that pathways connect to sidewalks within the individual villages; pathways within trail access areas; and sidewalks along arterials and residential collector streets, as appropriate. Construction plans for pathway connections to villages shall be provided with the adjacent Final Map or building permit as applicable.

K. Feral Horse Protection Plan/Design Standards

It is the intent of this PUD to keep the feral horses that roam this area safe and free. The plan calls for contiguous horse fencing along the east side of the MN land use with no gaps while connecting to adjacent fence to keep them along the eastern range in accordance with NRS 569.431 and RMC 18.04.108, as amended.

Temporary Fencing

The proposed temporary fencing will be installed prior to any development. This will keep the horses away from conflicts with other uses until development and permanent fencing is installed, (refer to **Figure 15**). Once permanent fencing is installed it will be monitored and maintained by the Master Developer or HOA in accordance with RMC 18.04.108, as amended.

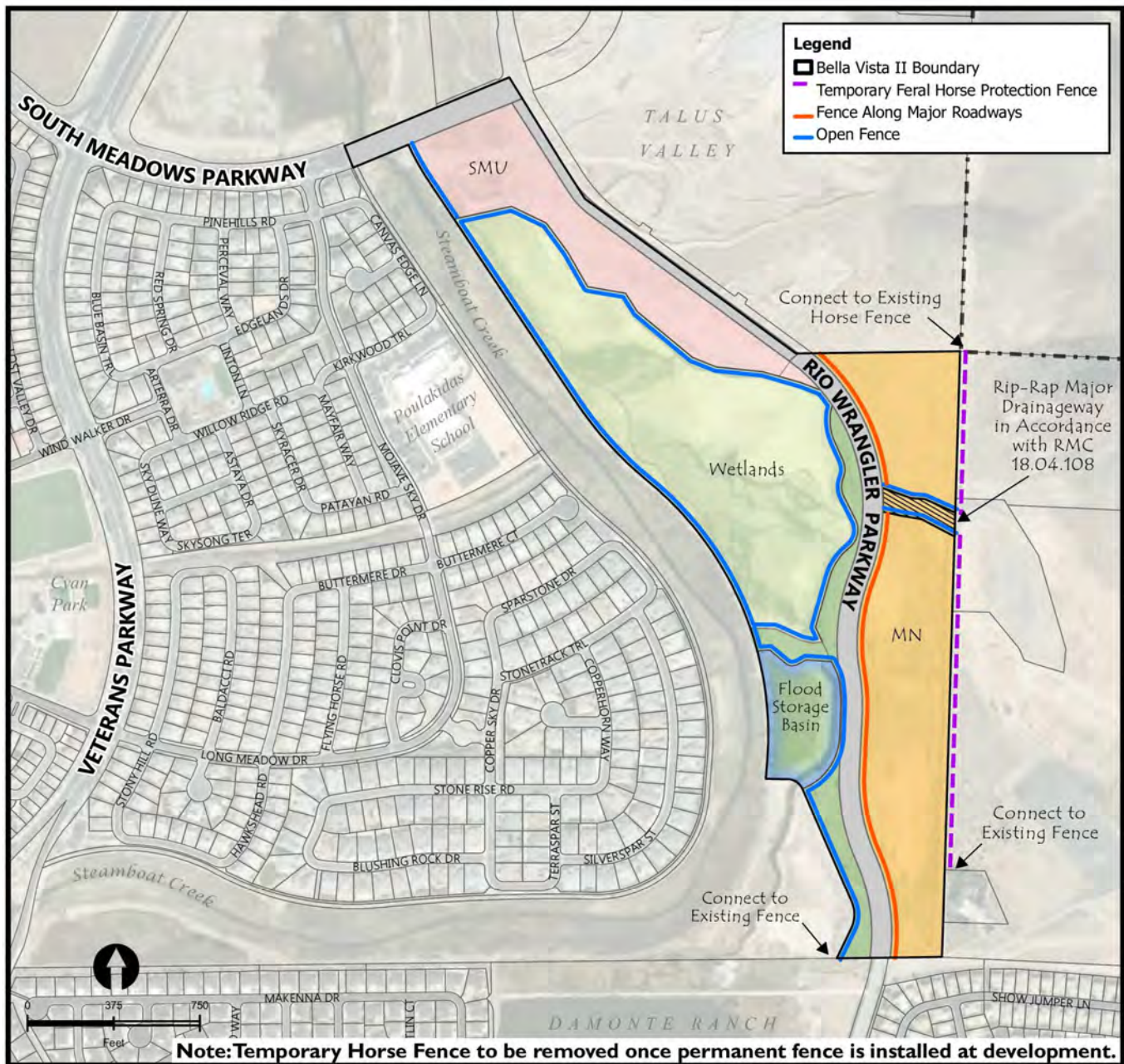


Figure 15
Feral Horse Protection Plan

With development of each project, the individual village or project developer will be responsible for installation of permanent perimeter fencing per **Figures 12, 13, 14A, & 14B**, of this PUD, as applicable. Temporary fencing, along future development boundaries may be installed as specified on **Figure 15**, or an alternative design may be utilized subject to approval by the City of Reno. A fencing plan shall be required with each final map or building permit as applicable, to demonstrate compliance with the intent of this section. All temporary and permanent perimeter fencing shall be constructed in compliance with the requirements of NRS 569.431 thru .471.

The Corps of Engineers has required that the mitigated wetland area along the creek be fenced to keep the horses out of the jurisdictional wetlands south of South Meadows Parkway.

Signage

With construction of Rio Wrangler Pkwy., lighted horse hazard traffic signs shall be required to be installed within the PUD boundary located along Rio Wrangler Parkway to the satisfaction of the City of Reno Public Works staff.

L. Conflicts with Reno Zoning Code

In the event of a conflict between these design standards and City Code, these standards shall govern development of Bella Vista II. When a specific standard is not addressed by the PUD, then the applicable section of Reno Municipal Code, as amended, at the time of review shall prevail.

IV. IMPLEMENTATION

A. Design Review

These Design Standards will be used by the City of Reno and relevant government agencies to review each tentative map, multi-family, or non-residential site plan/building permit proposal for conformance with the overall design objectives and standards contained in this PUD.

It will be the responsibility of each Parcel Developer to comply with the Design Standards in preparation of landscape design plans.

B. Applicability of Land Use and Development Standards

Where there is a conflict between standards within this PUD and cited city code sections, the standards in this PUD shall prevail. Where the provisions of this PUD do not address a specific subject, the provisions of the Reno Municipal Code Title 18 or other ordinances governing the development of land, which are in effect at the time of application, shall apply. All other conflicts shall be resolved by the Administrator.

C. Administration

The Bella Vista Ranch Phase II PUD shall be administered by the Administrator, or their designee as defined by the City of Reno Annexation and Land Development Code. The Administrator shall have the authority to interpret and apply this PUD handbook.

There shall be a master developer in place from the first stage of development of the PUD. This master developer shall continue throughout the development of the PUD until and unless a master homeowners association or other entity is created to serve the role of the master developer. The role of the master developer, for the purposes of this PUD shall be:

- a) To prescribe and administer methods and procedures to ensure and control the quality of development that occurs in this PUD.
- b) Maintain all common area improvements, storm drain channels, detention basins and other flood control facilities.
- c) Construct, or have constructed, all parks, pathways, trails and sidewalks.

D. Flexibility

The Development Plan and Development Standards contained herein are intended to depict the general development vision for the PUD. Sufficient flexibility shall be allowed to permit detailed planning and design at the time of actual development. The acreage of each land use category may be increased by up to 10% if it is demonstrated that additional acreages are necessary due to constraints and/or design considerations to accommodate the project, to the satisfaction of the Administrator. This provision shall not exceed a cumulative total of 10% for each land use category. Changes in excess of 10% shall require an amendment to the Development Standards Handbook. Residential densities and residential dwelling unit allocation may be interchangeable between villages and will be defined fully with the tentative map for any given residential village. With each tentative map application, the Master Developer and/or applicant shall provide an accounting of the overall residential unit allocations, and updated land use category acreages approved to date. The total number of residential units shall not exceed 609 units or 117,612 square feet of non-residential without an amendment to the Development Standards Handbook.

E. Modifications

The Administrator shall have the ability to administratively update the PUD to reflect RMC amendments that impact the PUD. The Master Developer shall be notified of any administrative changes by the Administrator prior to final approval of such changes. Minor deviations shall be subject to written approval from the Master Developer. The Administrator also shall have the ability to grant minor deviations as outlined in RMC 18.08.804 as amended. Deviations of 10% or more shall conform to the City of Reno Major Deviation process as outlined in RMC 18.08.802, as amended.

F. Green Development Practices

This PUD will include leading edge practices for the reuse of treated effluent. Low Impact Development (LID) best practices shall be utilized in the design and construction of all non-residential or residential developments to increase water infiltration and improve water quality. Any ordinances the city adopts that prescribe green building practices will be required in this PUD as they become effective. Plans demonstrating application of best practices or conformance with adopted green development standards shall be provided with each tentative map, conditional use permit, site plan review, and/or building permit.

To encourage the passive utilization of solar energy, this PUD will not restrict the reasonable use of solar facilities in the CC&R documents for the development. The PUD will not allow building heights in excess of those set forth in the **Tables 3 & 4** and will require the placement of houses or non-residential structures such that excessive shadows are not cast that restrict the use of solar facilities, both within and adjacent to the project.

G. Hours of Operation

Hours of operation for exterior construction activity or heavy equipment operation within the PUD shall be limited as follows:

- a) Monday – Friday 7:00 a.m. to 6:00 p.m.;
- b) Saturday – 8:00 a.m. to 6:00 p.m.;
- c) There shall be no construction on Sundays.
- d) A sign with the approved construction hours shall be posted on site for the full duration of construction activity.
- e) Hours of Operation shall not apply to dust control or storm water management operations. A note to this effect shall be placed on the title sheet of all building permit plan sets.
- f) Exceptions to construction hours for the pouring of concrete slabs, interior construction hours or other modifications (roadway paving, utility installation, etc.), a plan detailing the construction operations and provisions to minimize impacts on nearby residential areas shall be submitted and approved to the satisfaction of the Administrator.

H. Open Space Deed Restrictions

All designated open space and common areas intended for open space uses shall be deed restricted per Reno Municipal Code Section 18.09.208, as amended.

I. NV Energy Substation

The owner, his agent or designee shall notify and disclose to all potential buyers, renters and tenants within the project that there is an existing electrical power substation located approximately 1,450 feet northeast of the PUD which may be expanded in the future.

J. Health Department Wind Sensor Condition

Prior to issuance of each building permit, or approval of each final map, as applicable, the applicant shall have plans approved to install a wind sensor unit in all on-site areas containing turf.

K. Airport Avigation Condition

Prior to issuance of each building permit, or approval of each final map, as applicable, the property owner(s) shall grant an Avigation Easement to, and acceptable to, the Airport Authority of Washoe County over the entire ±77.3 acre property. The property owner(s) shall provide the Planning Department with appropriate documentation indicating the Avigation Easement has been granted and accepted by the Airport Authority of Washoe County.

L. Review Process

Prior to the submittal of a development application to the City, the proposed development shall be reviewed by the Master Developer at their sole discretion. Each development application submitted to the City shall include written documentation of approval from the Master Developer.

Written approval by the Master Developer does not constitute City approval of a development application. The construction of individual projects, including accessory structures shall follow the City of Reno building permit process. For some uses where a tentative map, conditional use permit, or site plan review is required, these processes shall precede the building permit process, as applicable.

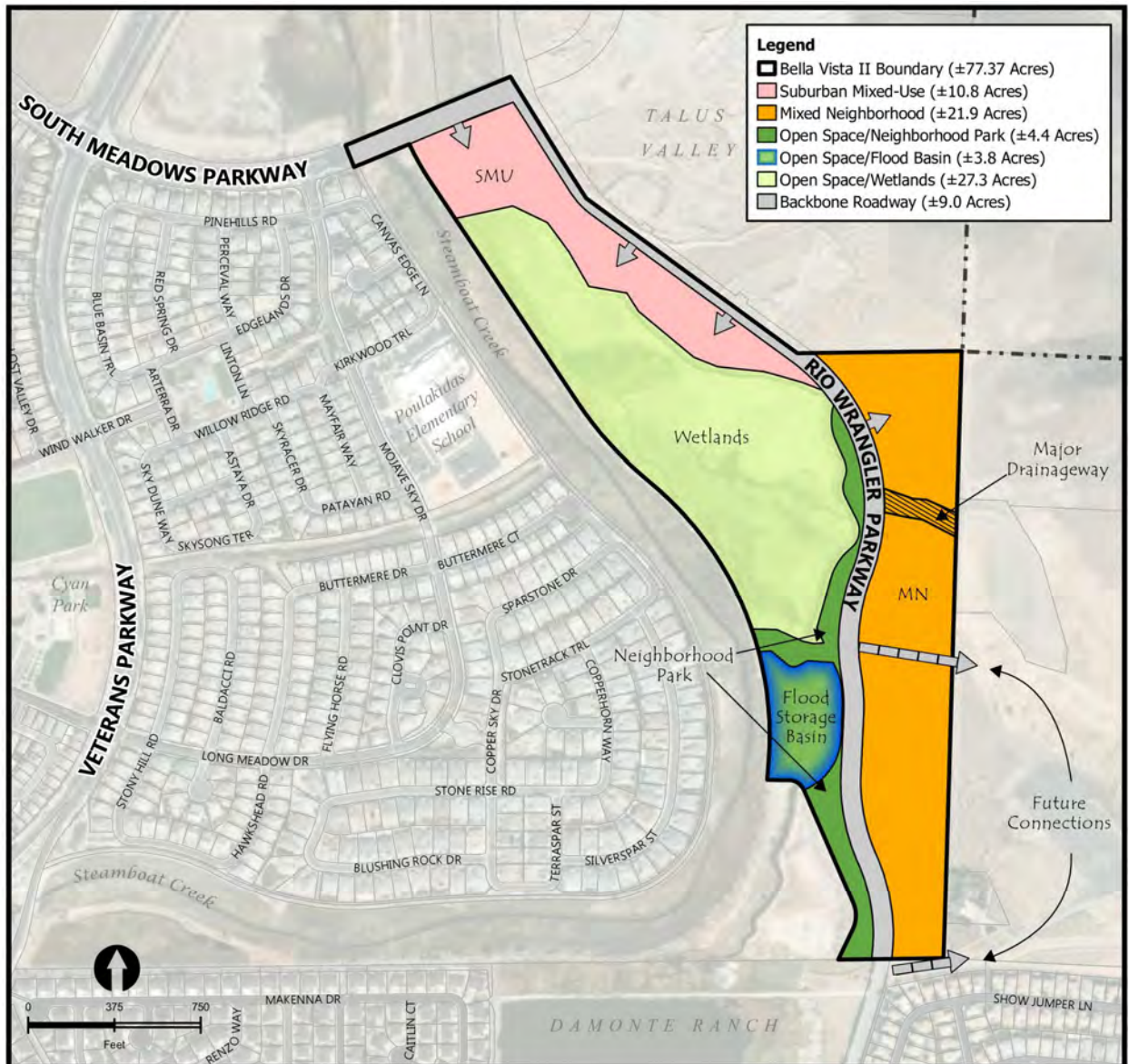
Appeals:

The applicant or developer may appeal any decision, comments, or recommendations of the Administrator in accordance with RMC Section 18.08.307(J), as amended.

DRAFT

Bella Vista Ranch Phase II

PUD Design Standards
Reno, Nevada



Certified by City Council:
January 16, 2013

Prepared for:
City of Reno

Amended on:
March 9, 2022

DRAFT AMENDMENT: DECEMBER 26, 2023

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- B. Flood Control Master Plan – Quadknopf Consulting
- C. Wetland Mitigation Plan - Gibson & Skordal
- D. Geotechnical Report – Black Eagle Consulting
- ~~E. Lists of Uses in the SF6, SF4, MF14, MF21, and MF30 zones not allowed in the Bella Vista Ranch Phase II PUD~~
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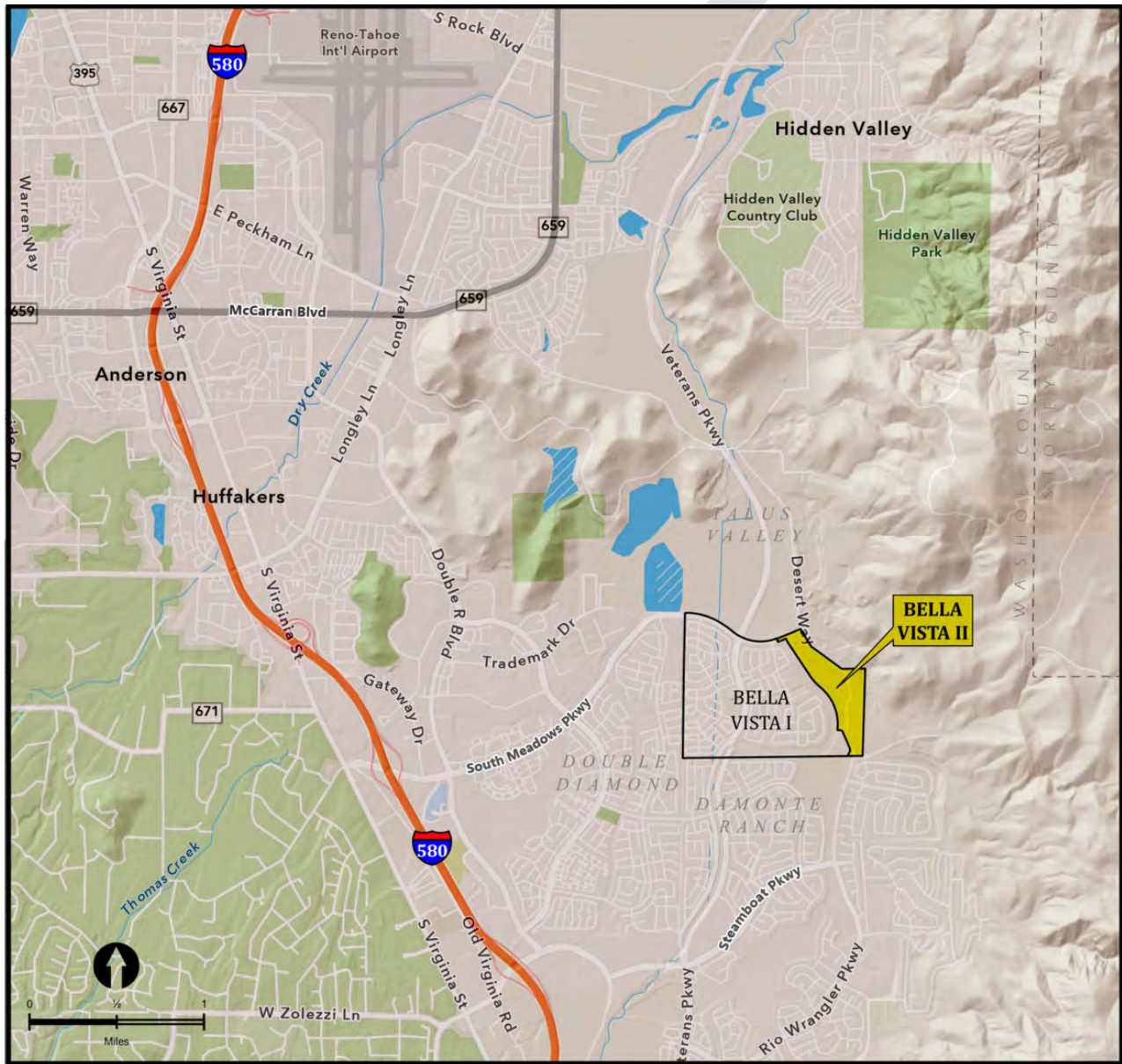
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I. PROJECT DESCRIPTION

The ±77.37-acre Bella Vista Ranch Phase II Planned Unit Development (PUD) is located in the southeastern portion of the City of Reno (**Figure 1**). The PUD includes a mixture of residential, commercial, neighborhood park, and open space uses. The intent of the PUD is to preserve the proposed open space and wetlands, including the flood storage improvements, and create two (2) development areas which will be developed for subsequent subdivision into individual building lots, multi-family housing, and non-residential building sites. One development area will allow a mix of residential and non-residential uses that will support the future development, and the surrounding neighborhoods, while the other will be limited to only residential uses. This will allow for the development of a range of housing types and options.



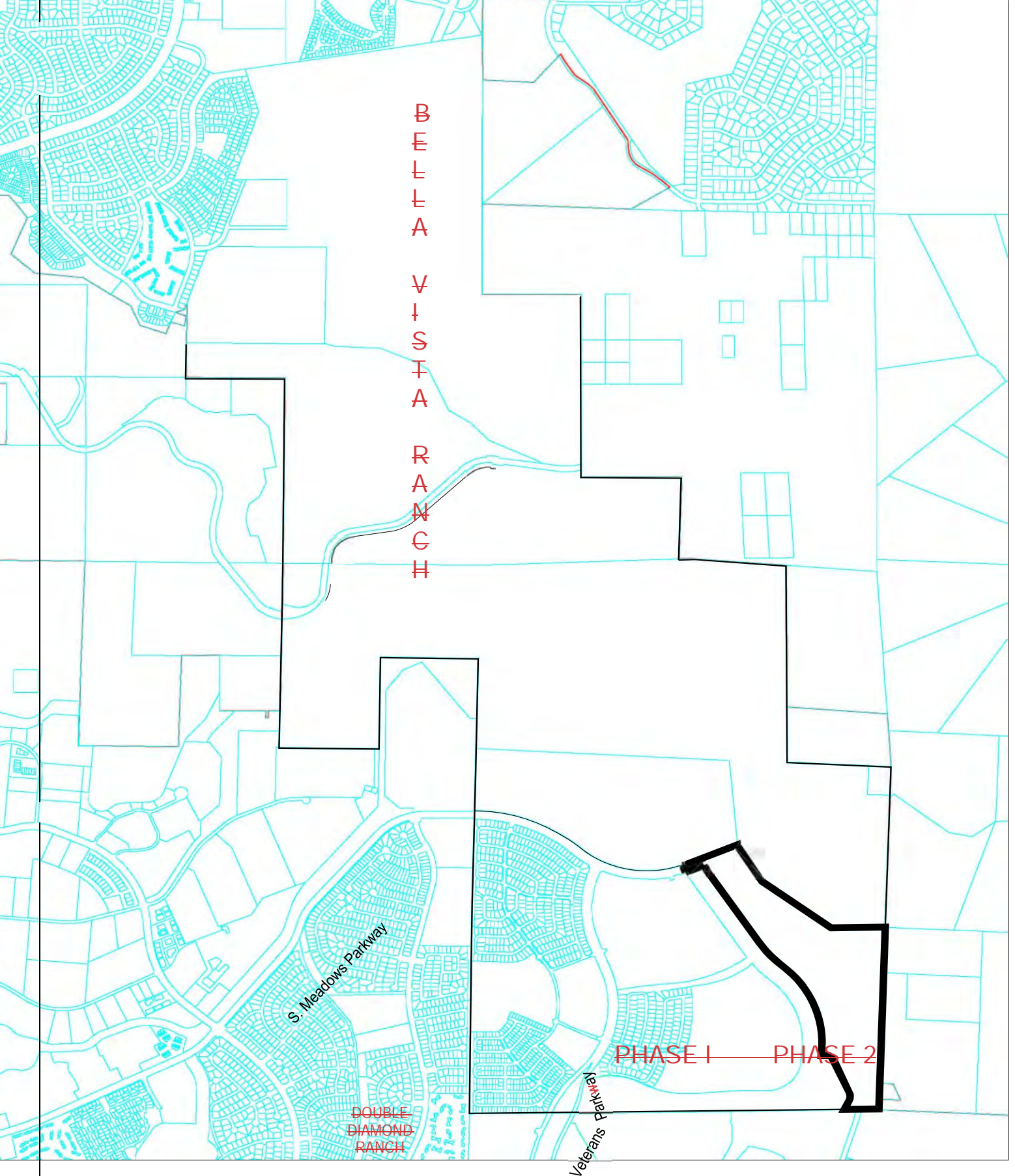


FIGURE 1
Location Map

A. Land Use Development Concept

The Bella Vista Ranch Phase II PUD consists of a mixture of residential, commercial, and open space/parks. Residential uses will be allowed within the Mixed-Neighborhood (MN) land use and will allow for high-density single-family detached, attached single-family attached, residential, and multi-family uses at densities ranging from 68 to 30 dwelling units per acre (du/ac). The Suburban Mixed-Use (SMU) land use will include a mix of residential and non-residential uses, neighborhood commercial uses. Parks Greenways and Open Space (PGOS) land use one neighborhood park, and open space areas as shown on Figure 2, page 2, provides a total of ±35.5 acres and will include a ±4.4 neighborhood park, ±3.8 acres of flood storage basin and ±27.3 acres of wetlands (WM-1), (as shown on Figure 2).

The maximum density, total number of dwelling units and the maximum non-residential square footage for each village is shown on **Table 1**, page 14. The maximum number of dwelling units within the entire Bella Vista II PUD shall not exceed 609 dwelling units (residential) and the commercial square footage shall not exceed 117,612 square feet (non-residential).

Table 1 on page 9 shows the breakdown of the property amongst the various uses. The number of dwelling units listed in Table 1 for villages A and B is approximate. The final unit count, up to a maximum of 575 units, will depend upon the final configuration of each village as it is developed over time. Village C is limited to non-residential land uses, totaling approximately 178,600 square feet at a max. FAR of 0.25. The neighborhood park equals approximately 4.4 acres, and the open space is approximately 31.1 acres. (refer to Section II, A page 9 for details.)

South

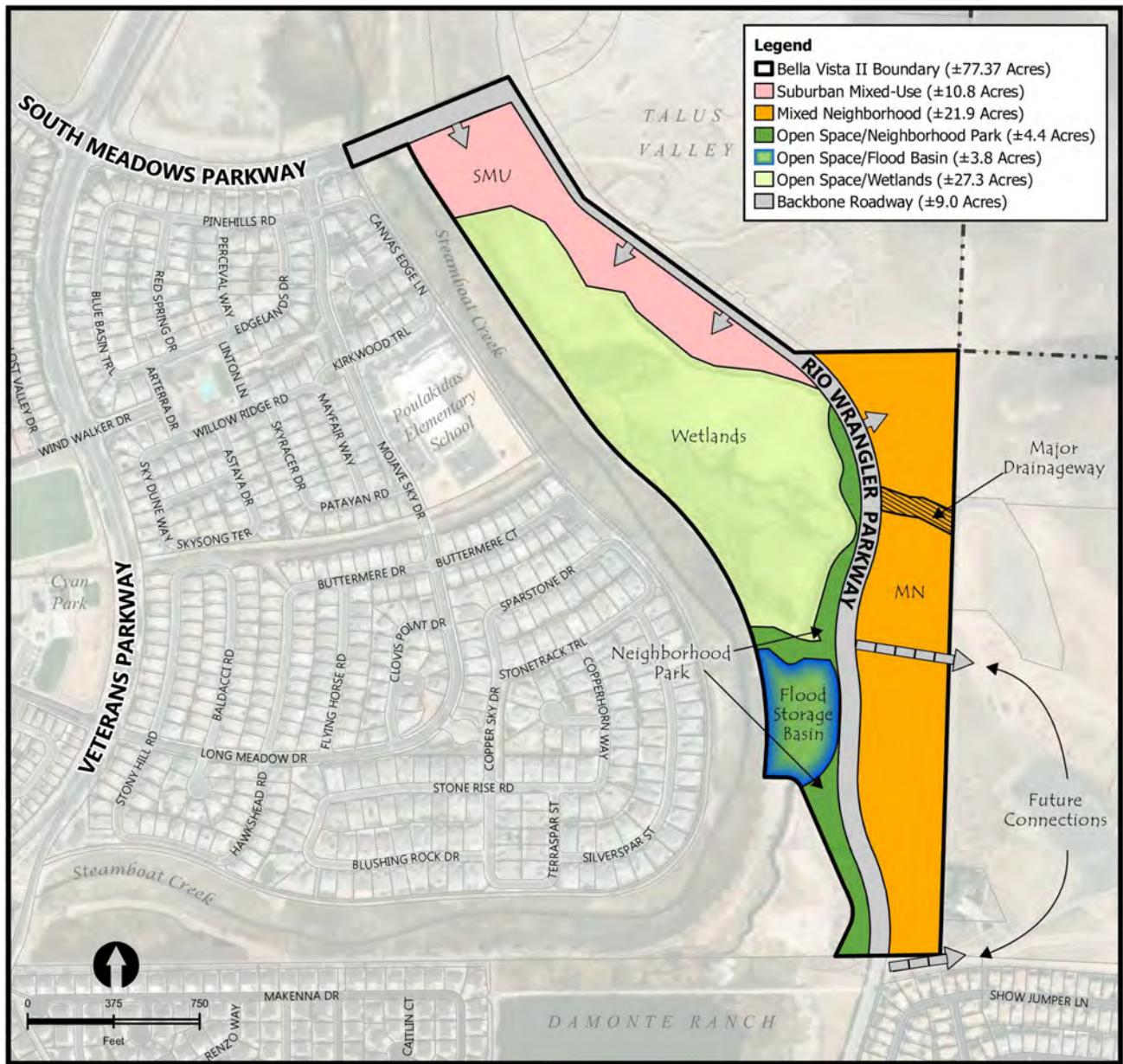


FIGURE 2
Land Use and Phasing Plan

A.B. Site Features Influencing Site Plan Design (Refer to Figure 3, page 3)

Several onsite and offsite environmental constraints were considered when influencing site plan design. These are identified in **Figure 3, Dominant Site Features.**

Ons-Site Features

The entire site is virtually flat, with a modest slope from south to north. Environmental onsite constraints on-site include:

- The jurisdictional wetland area (WM-1)s that will be set-aside as permanent open space and enhanced as part of the Steamboat Creek Restoration program discussed in Section I, G, page 7, of the PUD Appendix C are identified as "wetlands" in **Figure 3**. This area is proposed to be located within the ±27.3 acres of wetlands (WM-1), as shown on **Figure 2** and will not be developed.

ii. One major drainageway, between as identified to be within the Village B and CMN land

iii. The existing Irrigation Ditch will not be significantly impacted as part of this PUD and is proposed to be within the PGOS land use as identified in **Figure 2**.

Off-Site Features

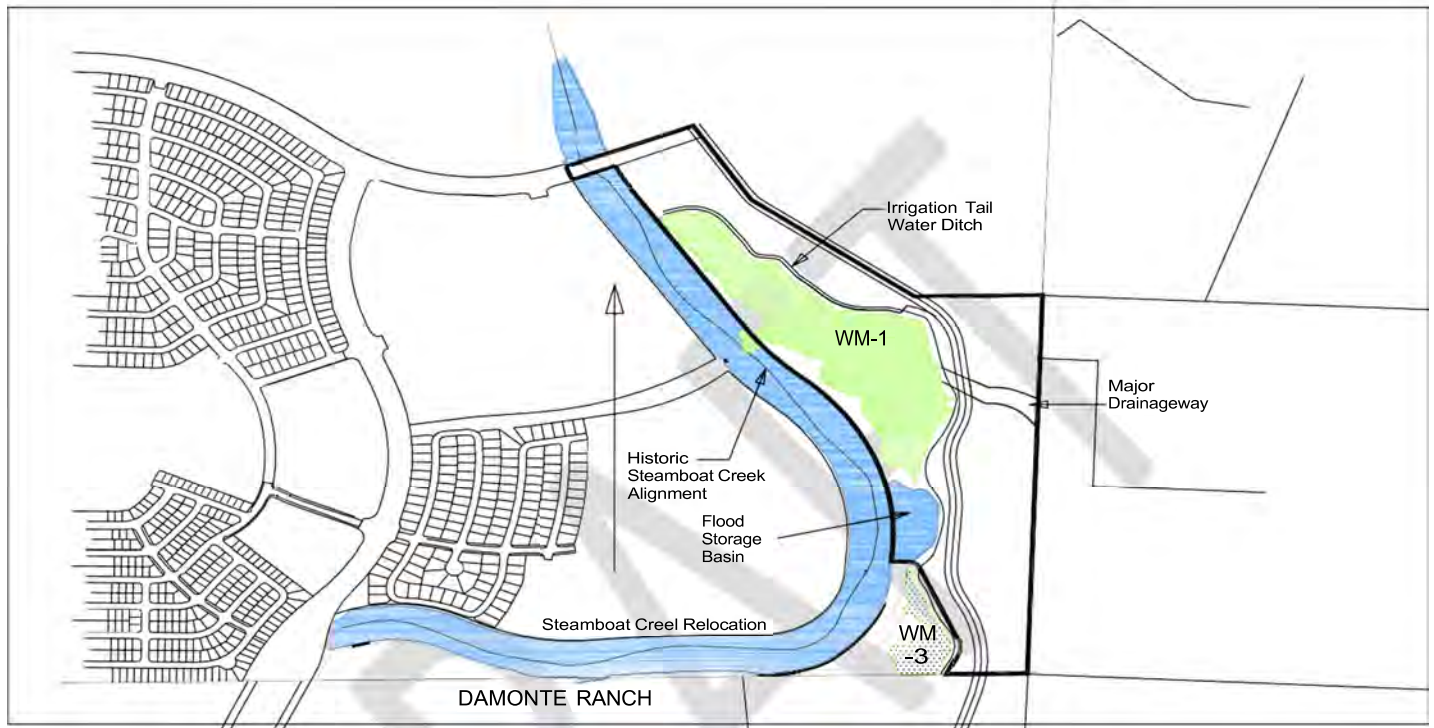
Environmental Constraints off site include:

- ii. The Butler Ranch Gravel pit adjacent to the north of Village A is currently being used as a stockpiling and sorting area. The mining in this area has been completed per the special Use Permit. The majority of the adjacent pit property is designated as a non-disturb buffer area per the existing permit.
- iii. It is anticipated that the remaining pit materials will be used on this project and other projects in the vicinity. A disclosure statement is required to be provided to all potential buyers, renters and tenants within this project notifying them of the terms and conditions of the pit special use permit and its' operational characteristics per condition No. 3 as contained in Section IV Implementation of this PUD handbook. The existing topsoil berm located along the east side of Rio Wrangler Parkway will remain in place until the pit is depleted. The topsoil from the berm will then be used to help restore and revegetate the pit site. The Bella Vista I is PUD will create an open space/neighborhood park buffer around the existing wetlands and re-aligned Steamboat Creek constructed to the west as part of the Bella Vista Ranch PUD. The current alignment of Steamboat Creek provides for one continuous and contiguous open space corridor linking all the wetlands and drainages on Damonte Ranch with the wetlands and drainages on the Bella Vista Ranch. The open space/neighborhood park buffer around the existing wetlands proposed in this development will enhance these features further and contribute to the contiguous open space corridor, (refer to Section II, E, page 45) "Steamboat Creek" in Figure 3).

v.iv.

FIGURE 3

Dominant Site Features



- The existing gun club located to the east of Village C has a valid special use permit and may continue to operate indefinitely. A disclosure statement is required to be provided to all potential buyers, renters or tenants within the project notifying them of the terms and conditions of the gun club special use permit and its' operational characteristics per Exhibit B, Condition No. 3 amended clerks letter dated 3-12-13, contained in Section V Attachment 1 of this PUD Handbook. Only non-residential land uses are allowed in Village C.
- v. ~~F~~The Hidden Valley wild ~~eral~~ horses have migrated into this portion of the Bella Vista Ranch since the ranch fences were removed with construction of the Steamboat Creek restoration project. ~~In order to~~To address this issue, a ~~Feral~~Wild Horse Protection Plan has been developed for this PUD, ~~(re- Refer to~~ **Section III Figure 15-B-4, page 46 for details).**

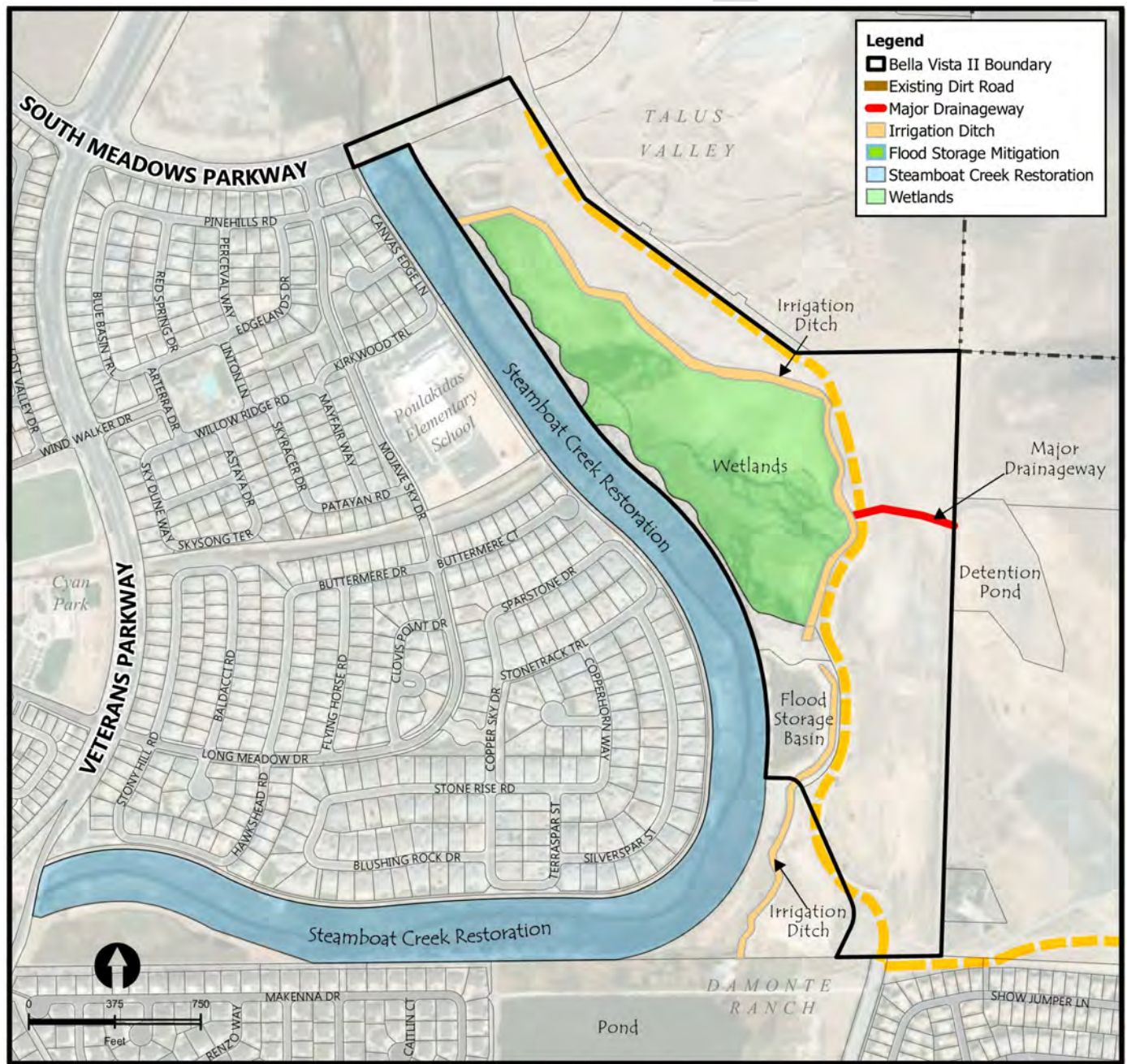


FIGURE 3
Dominant Site Features

B.C. Phasing (Refer to Section II, F, page 15 for details)

2. Phasing Strategy

The intent of the phasing strategy is to provide a balanced and effective approach to the build-out of the project. The phasing plan is a statement of the Master Developer's intentions related to the pattern and timing of construction. The phasing described ~~is not "cast in concrete."~~ It presents a likely and logical sequence for development ~~but may change due to~~. Factors ~~that will affect~~ ~~phasing~~ include ~~ing~~ changes in market demands for the various types of land uses, the pace of individual developers and the availability of financing.

3. Mixed Residential/Non-Residential

It is anticipated that the project will be developed in two (2) phases. ~~The first phase (refer to Figure 2, page 2). Phase IIA includes the SMU Land Use Villages B and C, in the south-north half of the site. Phase IIB The second phase includes Village A Mixed Neighborhood (MN) in the north-south half of the site and the neighborhood park.~~

Major Infrastructure Phasing

~~The south ±1800 feet of Rio Wrangler will be constructed with Phase IIA. The extension of South Meadows Parkway to Rio Wrangler, and the north ±1300 feet of Rio Wrangler will be constructed with Phase IIB (refer to Section II, F, page 15).~~

~~The trunk sanitary sewer, water trunk line, gas, electric, phone and cable distribution facilities will be constructed to serve each phase. Sanitary sewer, storm drain and water systems to serve individual lots/parcels will be constructed with each residential subdivision, multi-family building permit or non-residential building permit.~~

Infrastructure Phasing

~~The following represents the Developer's anticipated timing for the construction of the major backbone infrastructure and how it will be phased. It is based on current market conditions and anticipated construction seasons, both of which could change over time. The trunk sanitary sewer, water trunk line, gas, electric, phone and cable distribution facilities will be constructed to serve each phase, (refer to Figure 4). On-site public improvements to service individual lots or projects such as, sanitary sewer, water, storm drain, gas, electric and phone shall be constructed with each residential subdivision, multi-family or non-residential building permit.~~

Phase IIA

Mass Grading

~~Prior to approval of the first building permit submittal for any project in Phase IIA, final improvement plans for any mass grading and or restoration of the Major Drainageway shall be submitted for staff review along with all necessary parcel maps and easements. Mass grading may occur prior to the design and approval of major infrastructure and/or at the same time as grading on adjacent parcels to allow for the mass grading associated with backbone infrastructure. This is anticipated to occur in Phase I in conjunction with the half street improvements on adjacent parcels. The grading of the Major Drainageway is anticipated to be within Phase 2 and will be completed with the development of the MN land use. During this phase the final location will be determined based on the type of development proposed and would need to be addressed through a site plan review or the tentative map process.~~

Arterial/Backbone Roadways

Phase I:

~~The extension of South Meadows Parkway shall be constructed by the adjacent developer to the north (Talus Valley) or by the Bella Vista II Master Developer, whichever is first. This also may include half street improvements prior to development of the Bella Vista II PUD. The final improvement plans shall be submitted with final maps or with building permit submittal for the extension (refer to Figures 8A & 8B). All necessary Right of Way dedication maps, easements,~~

adjacent landscape corridor and sound wall/fencing improvement plans and bonding for the improvements shall be included with the submittal.

The northwest $\pm 1,300$ feet of Rio Wrangler half street improvements shall be constructed by the adjacent developer (Talus Valley). The northeast half of Rio Wrangler Parkway, including sidewalks, landscaping and fencing shall be constructed by the Bella Vista II Master Developer. The northwestern portion of Rio Wrangler Parkway within the SMU will be constructed prior to, or in coordination with, the development of the SMU Land Use.

Prior to approval of the first building permit submittal for any project in Phase IIA, final improvement plans shall be submitted for review for phase IIA of Rio Wrangler (refer to **Figure 14**, page 26). All necessary R.O.W. dedication maps, easements, adjacent landscaping and sound wall/fence improvements shall be included with the submittal.

Construction of Phase IIA of the Arterial Roadways will occur after approval of the plans. Bonding for the improvements shall be provided with the building permit.

Phase II:

Prior to approval of the first building permit submittal for any project in the MN Land Use, final improvement plans shall be submitted for review for the south $\pm 2,700$ feet of Rio Wrangler Parkway from the SMU Land Use in the north to the current terminus or Rio Wrangler Parkway to the south (refer to **Figure 5**). All necessary R.O.W. dedication maps, easements, adjacent landscaping, and sound wall/fence improvements shall be included with the submittal.

Construction of Phase A and B of the Backbone Roadways will occur after approval of the plans. Bonding for the improvements shall be provided with the building permit.

Sanitary Sewer Trunk Lines

Prior to approval of the first building permit submittal for any project in Phase IIA, final improvement plans shall be submitted for staff review of Phase IIA of the sanitary sewer system to serve the site (refer to **Figure 49**, page 17). All necessary easements and bonding for the improvements will be included.

Water Main – Washoe County Water Resources

Prior to approval of the first building permit for any project in Phase IIA, final improvement plans shall be submitted for staff review of the Phase IIA water main construction to serve the site. (refer to **Figure 49**, page 17). All necessary easements and bonding for the improvements will be included.

Phase IIB

Arterial Roadways

Final improvement plans shall be submitted with adjacent subdivision final maps or with building permit submittal for half street improvements for Rio Wrangler and half street improvements for the extension of South Meadows Parkway. (refer to **Figures 10A & 10B**, pages 20 & 21). All necessary R.O.W. dedication maps, easements, adjacent landscape corridor and sound wall/fencing improvement plans and bonding for the improvements shall be included with the submittal.

The north half of South Meadows Parkway, including sidewalks, landscaping and sound walls shall be constructed with adjacent development to the north. The east half of Rio Wrangler Parkway, including sidewalks, landscaping and fencing shall be constructed with adjacent development to the east.

On-site Improvements

On-site public improvements to service individual lots or projects such as, sanitary sewer, water, storm drain, gas, electric and phone shall be constructed with each residential subdivision, multi-family or non-residential development.

Public Amenities Phasing

~~AA ±4.4 acre public neighborhood park, located within Phase IIA, will be constructed with Phase IIB to serve the majority of the projects residential units that are located in Phase IIB, Village prior to the buildout of the MN land useA.~~ The open space and 8-foot-wide asphalt trail associated with or adjacent to each phase will be constructed by the Master Developer prior to completion of each phase.

FIGURE 49
Major Infrastructure Phasing

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II. SERVICES & FACILITIES

A. Traffic and Circulation Plan

Per the Traffic Study prepared by Headway Transportation on (December 22, 2023), the project is expected to generate 7,752 average daily trips with 545 trips occurring during the AM peak hour and 588 trips occurring during the PM peak hour. Traffic will have some impact on the adjacent street network. However, the proposed improvements will generally improve traffic for the surrounding area with the extension of South Meadows Parkway and Rio Wrangler Parkway. All tentative/final map applications and building permit submissions shall adhere to the recommendations in the Master Traffic Study and include an updated traffic letter with each tentative map/building permit, to show compliance with the Master Traffic Study, (refer to **Appendix A**), street types and design standards are outlined in detail in Section III, Design Standards, Section F.

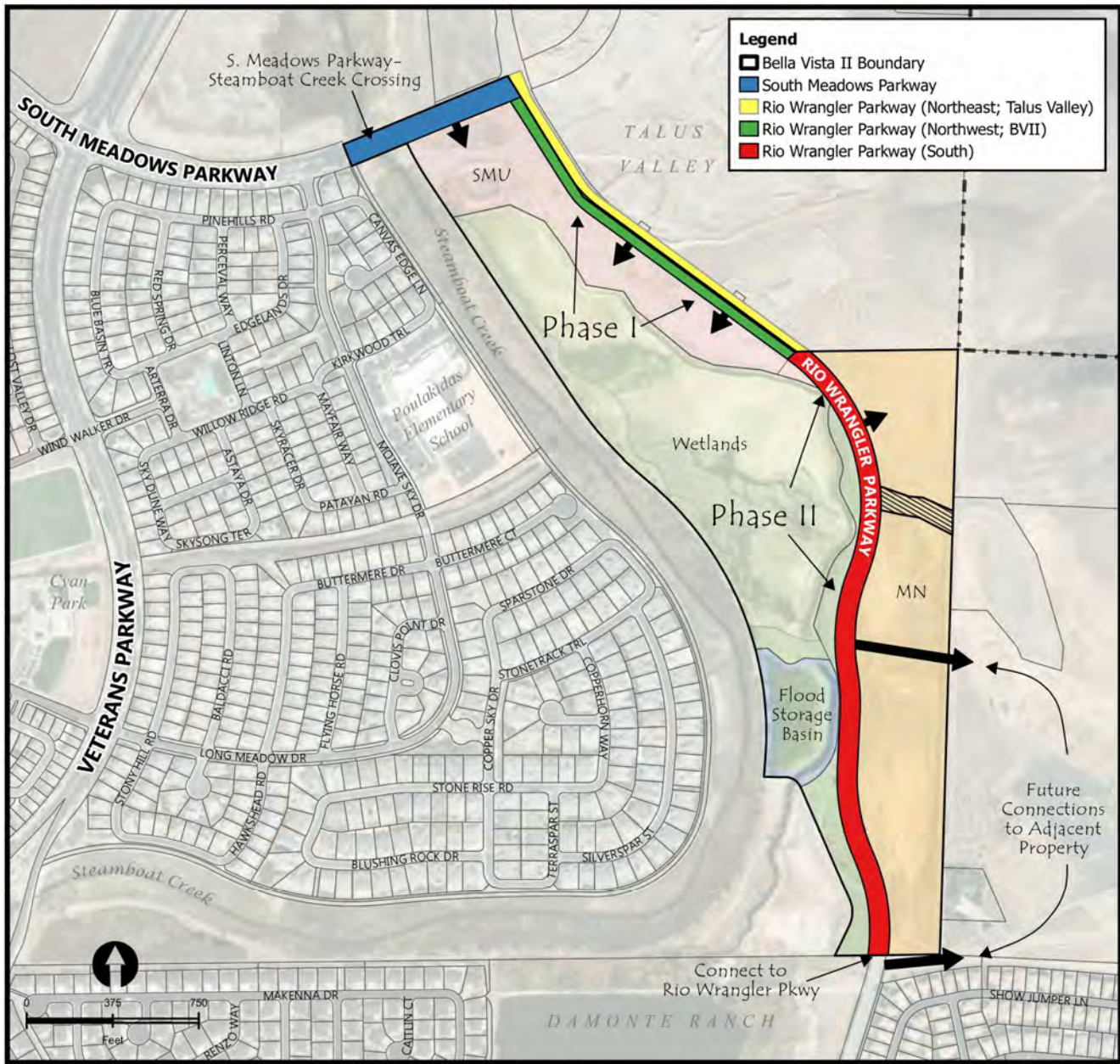
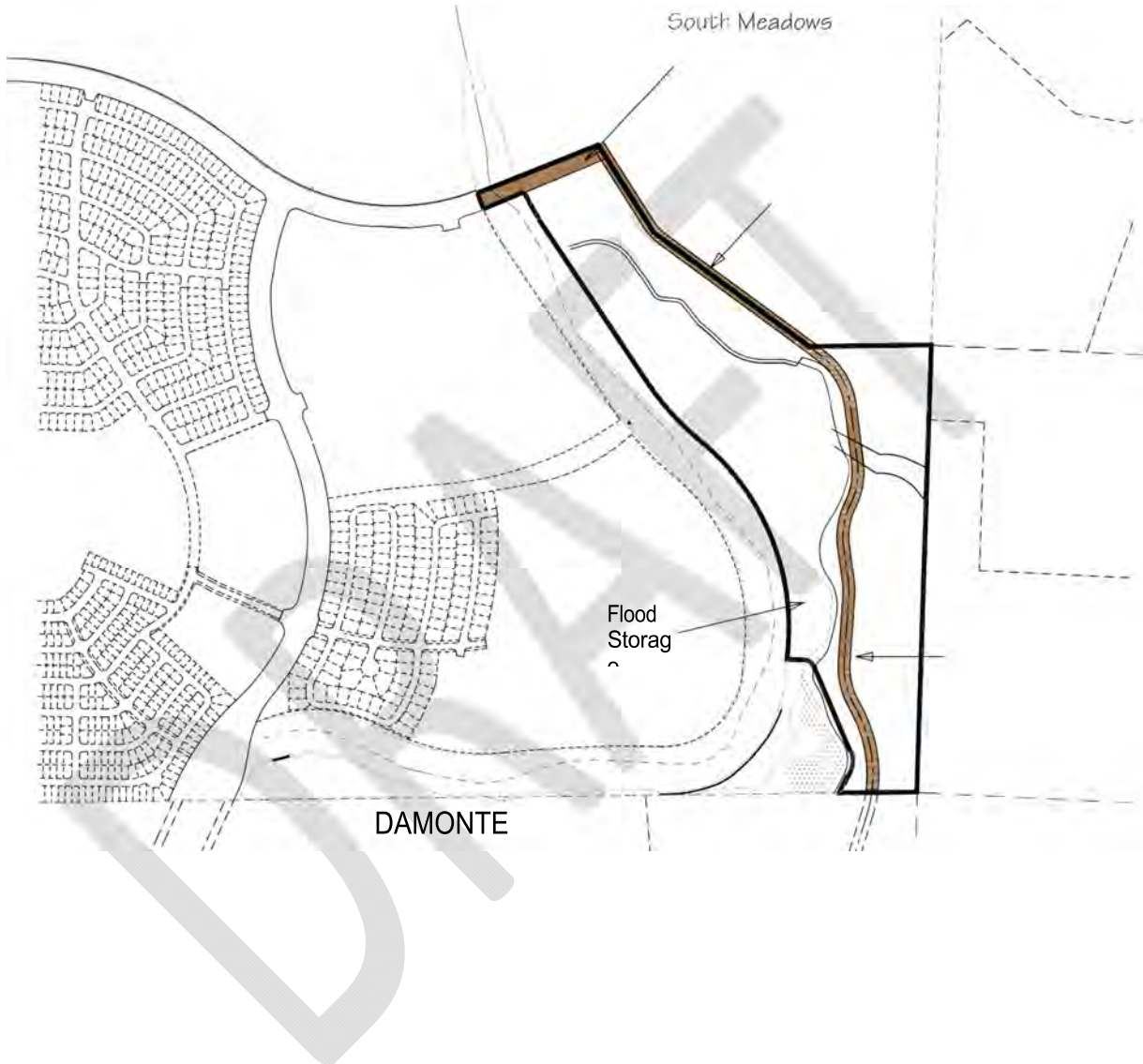


Figure 5
Major Roadways

7. Traffic and Circulation

The traffic study included in **appendix A** contains traffic projections for development of this property. South Meadows Parkway and Rio Wrangler Parkway are the main east-west and north-south arterial streets, respectively, to serve this project. The development of this project will extend South Meadows to the east to connect with Rio Wrangler; and extend Rio Wrangler to the south to connect to the existing northern terminus of Rio Wrangler in the Damonte Ranch (refer to **Figure 4, page 5**). The street section standards are in **Section III, A, on pages 20, 21 and 26, Figures 10 A, 10 B and Figure 14.**



South Meadows Parkway

Veterans Parkway

Figure 4
Major Roadways

A.B. Parks, Trails, and Open Space

A primary objective for this development ~~was is~~ the inclusion of strategically located and accessible open space. To accomplish this objective, an interconnected system of sidewalks and trails is planned. The design standards for this pedestrian and bicycle circulation system are contained in Section II, ~~D, pages 13 & 14.~~

~~One neighborhood park will be constructed in the south half of the property. (refer to **Figure 5**, page 6). This park will be connected via a trail system to other open space areas throughout the PUD (refer to Section II, D, page 13 and 14). Open space will be located within and adjacent to natural areas, such as the Steamboat Creek corridor, and manmade open space areas, such as the major drainageway. Trails and sidewalks will be located throughout the open space and along major roadways (refer to **Figure 8**, page 14). The park and open space will be accessible to the entire community via the project trails and sidewalks. (refer to Section III, B, page 38).~~

Parks

A ±4.4 acre neighborhood public park will be located in the south central portion of the project between the open space wetlands and Rio Wrangler Parkway, (refer to **Figure 2**). The park will be passive and will include a maximum one (1) acre of turf area for outdoor play. This park shall be connected to a sidewalk and trail system and provide access to other open space areas and developments throughout the PUD, (refer to **Figure 6**). The park will be constructed by the developer and maintained by the HOA as discussed in the Maintenance section of this PUD. The park will be designed to the approval of the City of Reno and constructed by the property developer.

The developer shall not receive credit towards the Residential Construction Tax (park fees) to construct the park. All Residential Construction Tax fees collected from this project shall be used to construct additional amenities within Cyan Park, located within the Bella Vista Ranch PUD to the west of this project which is within the same Park District. The proposed trail system within this PUD will connect to the adjacent trail networks and provide additional pedestrian connectivity.

The Residential Construction Tax Agreement for this project shall be completed and approved by the Reno City Council prior to or simultaneously with the certification of this PUD. The approved Agreement is attached as appendix H to this PUD. Refer to **Section III**, for additional design standards and implementation requirements.

Trails, Sidewalks, and Bike Lanes

Trails, sidewalks and bike lanes will be provided in accordance with **Figure 6**. Sidewalks and bike lanes will be provided on both sides of the arterial roadways. A pedestrian/bike multiuse trail will be provided along the east side of the wetland consolidation area and linear park. The arterial roadway sidewalks will connect to the trails in the Damonte Ranch area to the south. The arterial roadway sidewalks and pedestrian/bike trails will also connect to the Steamboat Creek Corridor and the parkway trails in the Bella Vista Ranch PUD to the west, (refer to **Figure 6**). The local pedestrian street sidewalks will provide internal connection from the developments to the trails and sidewalks and provide additional pedestrian access over South Meadows Parkway including safe pedestrian access to Nick Poulakidas Elementary School and Depoali Middle School to the west.

Open Space

Open space will be located within and adjacent to natural areas, such as the Steamboat Creek corridor, and manmade open space areas, such as the major drainageway. Trails and sidewalks will be located within the open space and provide connectivity throughout the PUD and connect to existing and proposed trail networks in the surrounding neighborhoods, (refer to **Figure 6**).

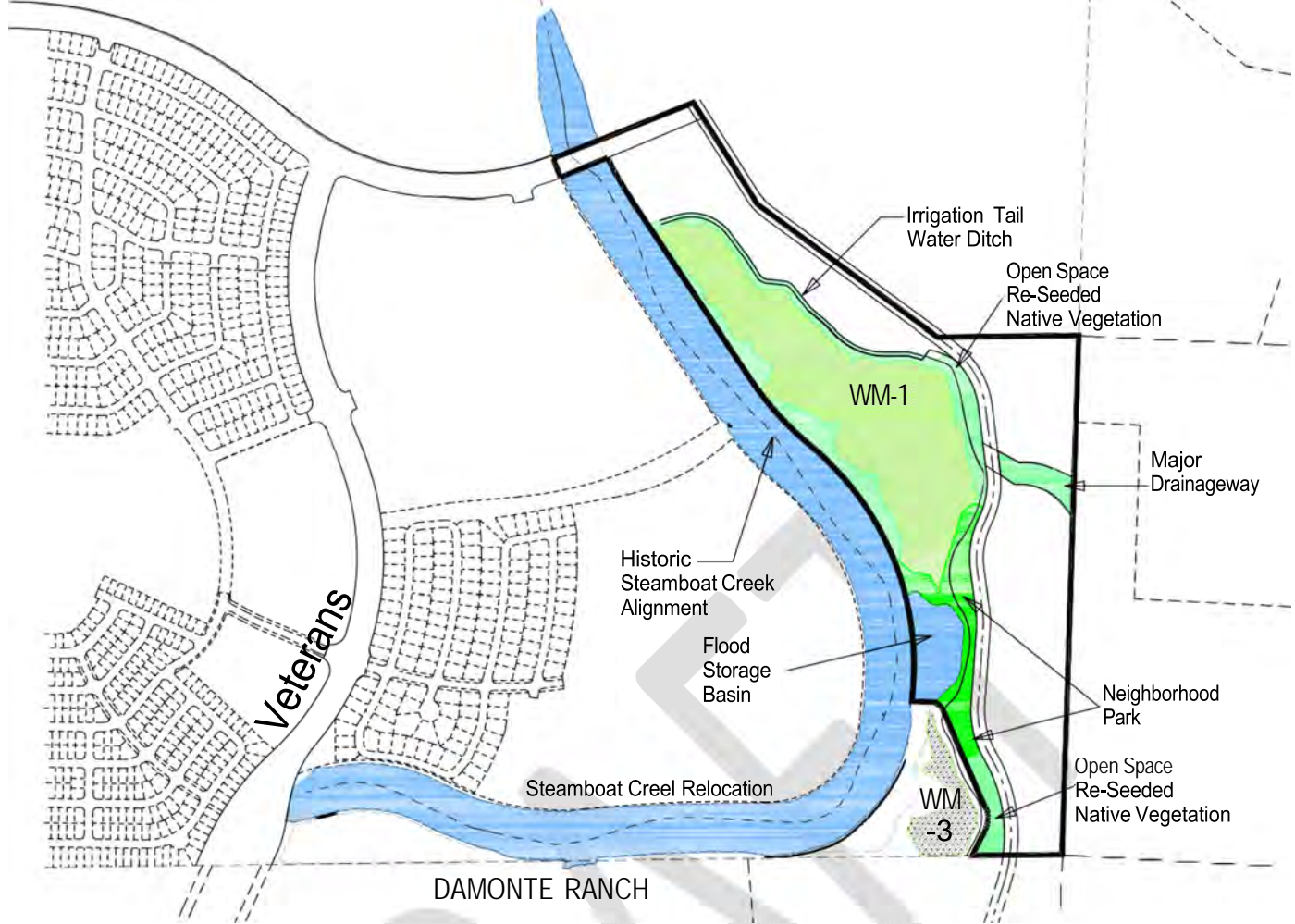


FIGURE 5
Open Space

B.C. Wetlands

The delineation of federally protected wetlands on this property was completed with approval of the individual Corps of Engineers permit number # 200400683. (Refer to **Appendix C-4**). ~~One of the two~~ delineated wetlands covered by this permit (WM-1 ~~and WM3~~) exist within ~~and adjacent to~~ this PUD (refer to **Figure 23, page 3** and **Figure 35, page 6**). Any enhancements within wetland areas must be consistent with the Final Wetland Mitigation Plan approved by the Corps of Engineers through individual permit listed above under Section 404 of the Clean Water Act and the City of Reno Wetlands and Stream Environment Protection Standards, as amended. The wetland mitigation plan prepared by Gibson & Skordal, Wetlands Consultants dated February 2005, and the 404 permit dated October 2005 is located in Appendix C and includes additional details regarding the mitigation plan. All wetland improvements should also be with the Final Wetland Mitigation Plan approved by the Corps of Engineers through the Individual Permit noted above and in compliance with the City of Reno Wetlands and Stream Environment Ordinance, RMC 18.12.1801-1808, as amended.

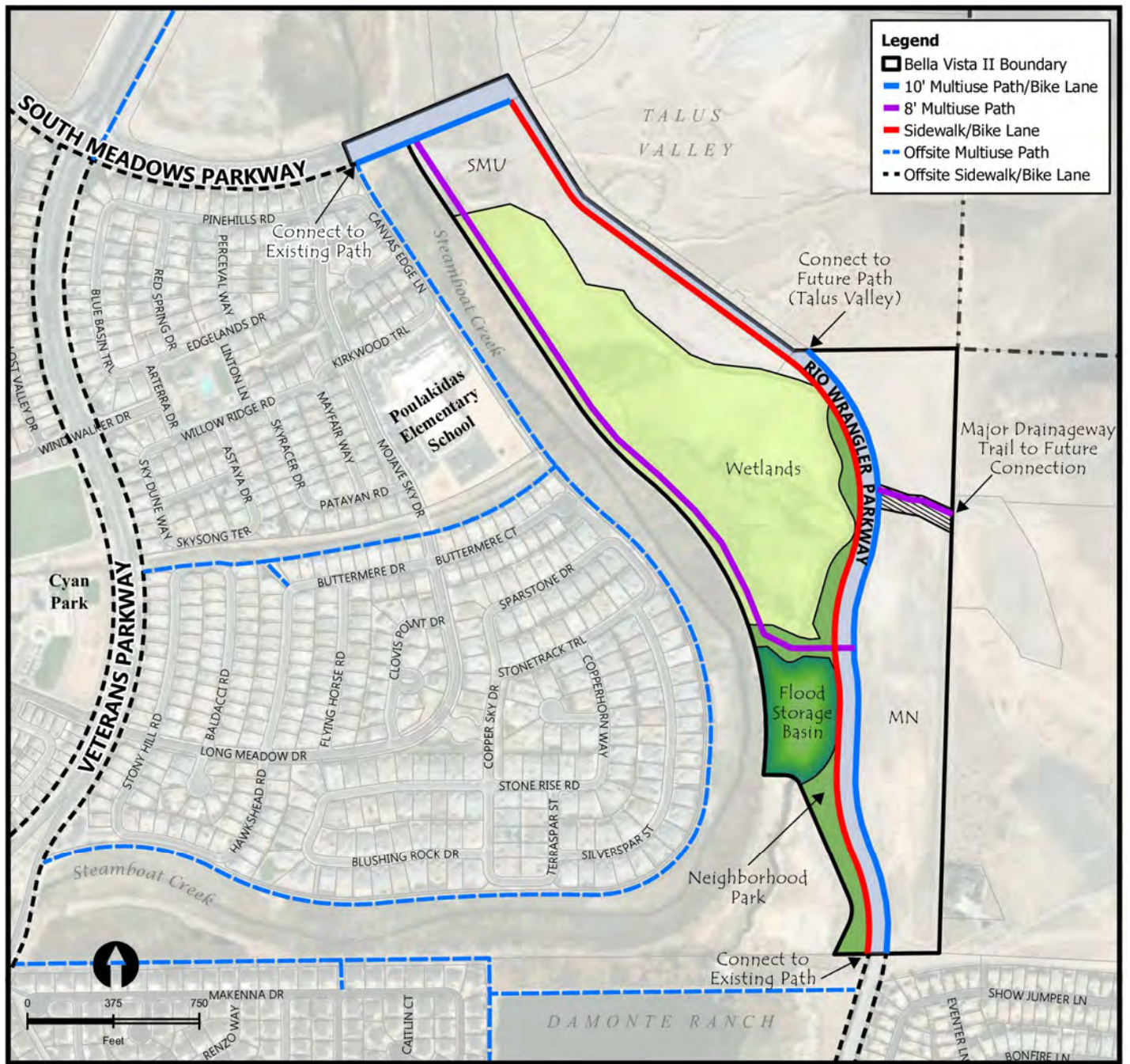


FIGURE 6
Open Space/Trail, Sidewalk and Bike Lane Plan

8. Steamboat Creek

This PUD will create an open space/neighborhood park buffer around the existing wetlands and re-aligned Steamboat Creek constructed to the west as part of the Bella Vista Ranch PUD. The alignment of Steamboat Creek provides for one continuous and contiguous open space corridor linking all the wetlands and drainages on Damonte Ranch with the wetlands and drainages on the Bella Vista Ranch (refer to Section II, E, page 15).

G.D. Stormwater Management

1. Site Drainage

The property slopes to the ~~north-west/northwest~~ very gradually at a typical gradient of less than half a foot per hundred feet (0.5%). The Steamboat Creek Restoration Project, adjacent to the west side of the site, was designed to provide 5 year and 100 year outfall drainage for the Phase II PUD. The City of Reno Public Works Design Manual and the standard details for Public Works shall be the design standards for on-site storm drainage system designs and construction. All on-site stormwater management and drainage improvements shall adhere to the Flood Control Master Plan prepared by QuadKnopf Consulting, dated January 11, 2006 and all updates or addenda thereto, (refer to **Appendix B**).

2. Flood Potential ~~(Refer to Section II, C, page 13 for details)~~

The current Federal Emergency Management Agency (FEMA) DFIRM maps, dated March 2009, indicate that the site is not affected by the Zone A (100-year floodplain) from Steamboat Creek.

Floodplain Mitigation

The Flood Control Master Plan prepared by Quad Knopf Consulting, dated January 11, 2006 specifies how the 100-year floodplain was mitigated, (refer to appendix B). In summary, the approved flood control plan removed the developable portions of the site from the 100-year floodplain by constructing the Steamboat Creek Natural Corridor (SCNC). The current FEMA DFIRM maps dated March 2009 document that the site is not within the 100 year floodplain. Refer to appendix B-3 for a copy of the March 2009 DFIRM map. All floodplain mitigations shall adhere to the Flood Control master Plan and all updates or addenda thereto.

As noted in the QuadKnopf study, the following steps have been completed to remove the project from the 100-year floodplain:

- Approval from the Corps of Engineers of the 404 Individual Permit # 200400683. Permit received February 2005, copy in appendix C.
- Approval of the CLOMR for Phase II by FEMA received August 8, 2007, copy in appendix B.
- Approval of the LOMR for Phase II by FEMA received April 25, 2008, copy in appendix B.

Detention – Flood Storage

The Flood Control Master Plan prepared by QuadKnopf Consulting, dated January 11, 2006, specifies how the detention/flood storage issues are to be addressed for this PUD. (refer to appendix B). All flood storage and detention improvements shall adhere to the Flood Control Master Plan and all updates or addenda thereto.

Flood Mitigation Update

The Steamboat Creek channel work adjacent to the PUD area has been completed with the development of Bella Vista I and will not be changed with the development of this property. The adjacent property to the north (Talus Valley) has an approved CLOMR that addresses the existing and proposed conditions downstream of Bella Vista II. Additional work on the downstream improvements isn't warranted based on the proposed development in Bella Vista II. Therefore, onsite drainage will be addressed appropriately at the time of tentative maps or site plan review when details of the development are known and impacts can be further analyzed.

E. Major Drainageway

The existing drainageway noted in **Figure 3**, is defined as a major drainageway because it drains more than 100 acres. It is also categorized as a "disturbed drainageway", as defined by Reno Municipal Code. The majority of this drainageway currently runs through the middle of the adjacent property to the east and is undistinguishable topographically. This drainageway terminates as it drains into the existing irrigation tail water ditch just west of the Desert Way (see Figure 3). The portion of the drainageway proposed for development shall be restored per City of Reno code 18.04.104. The Major Drainageway location will be finalized during the tentative map or through a

D.F. Emergency Services~~Fire/Police Protection/Parks~~

~~3. Fire~~

~~The Developer has previously entered into a Fire Station Development Agreement for the existing Bella Vista Ranch PUD. The Agreement is being revised to reflect current market conditions and fire service needs. It will be called a First Amended Public Facility Site Agreement and will include this project. It will define the Developers obligation for the funding of a future Fire Station to serve this PUD. This Fire Station may be located on the public facility site created with the original Bella Vista Ranch PUD, or at some other location as provided for in the First Amended Public Facility Site Agreement.~~

~~A fee will be established in the First Amended Public Facility Site Agreement on a unit basis for single and multi-family development and on a per square foot basis for non-residential development.~~

~~If the City of Reno establishes an Impact Fee for Fire Service per NRS 278B, subsequent to approval of this project, then all per residential unit and non-residential square footage fire fees collected from this project shall be credited and applied on a per dollar basis for any fees contributed per the existing Bella Vista Ranch agreement noted above.~~

~~As noted above, the modification to the existing Bella Vista Ranch Fire Station Development Agreement to include this project shall be contained in the First Amended Public Facility Site Agreement, shall be completed and approved by the Reno City Council prior to or simultaneously with the certification of this PUD and shall be added as an appendix to and recorded as part of this PUD Handbook.~~

~~4. Police~~

~~A police station facility to serve this project could be located on the public facilities parcel of the Bella Vista Ranch PUD should the City of Reno determine it is appropriate. (refer to Section II, G, page 18 for details).~~

~~A police capital facilities fee shall be collected for each residential unit and non-residential square footage within the PUD. This fee shall be determined based on the requirements of NRS 278B. The fee shall be established for this PUD concurrent with adoption of a future citywide Police Department Facility Fee as allowed per NRS 278B.~~

~~5. Park~~

~~_____ A 4.4 acre public park will be located in the south central portion of the project (refer to Figure 2, page 2). The park will be passive and will include a maximum 1 acre of turf area for outdoor play. This park shall be connected to the project path and sidewalk system. The park will be constructed by the developer and maintained by the OA as discussed in the Maintenance section of this PUD on page 19. The park will be designed to the approval of the City of Reno and constructed by the property developer.~~

~~_____ The developer shall not receive credit towards the Residential Construction Tax (park fees) to construct the park. All Residential Construction Tax fees collected from this project shall be used to construct the park located within the Bella Vista Ranch PUD located to the west of this project which is within the same Park District.~~

~~A. _____ The Residential Construction Tax Agreement for this project shall be completed and approved by the Reno City Council prior to or simultaneously with the certification of this PUD. The approved Agreement is attached as appendix H to this PUD. Refer to Section III B, page 38 for additional design standards, timing and implementation requirements.~~

A police impact fee will be collected for each residential unit and non-residential square foot constructed within the PUD in accordance with RMC Section 18.04.1206. Total ± 77.4 100%

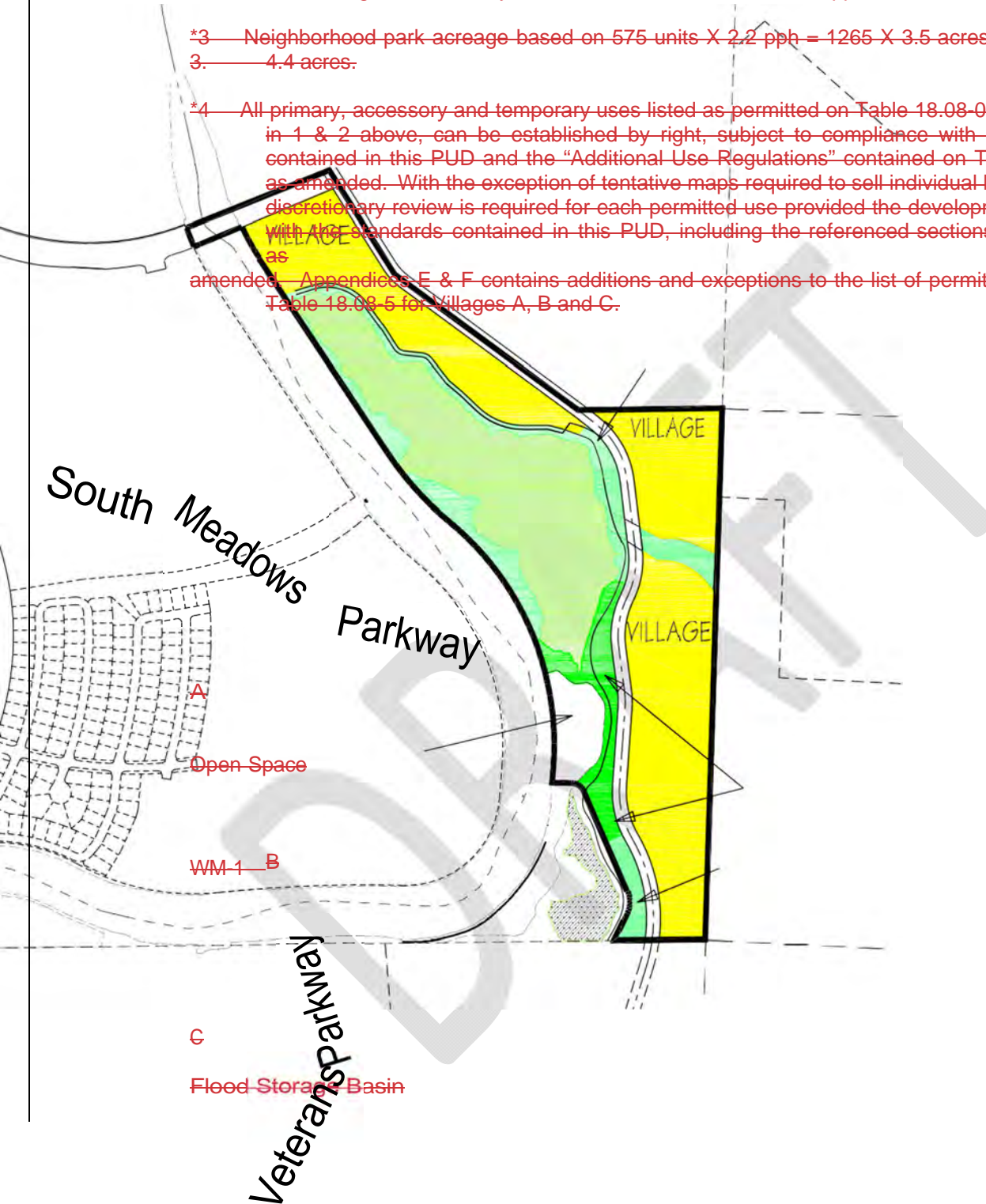
Fire

~~1. *1 Villages A and B will allow all residential and non-residential uses listed in the SF4, MF 14, MF 21, and MF 30 zones on Table 18.08-05 “Uses Permitted in the Residential Base Zoning Districts”, Section 18.08.201 of the Reno Municipal Code (RMC), as amended; and as modified in Appendix E of this PUD.~~

~~2. *2 Village C allows only the non-residential uses listed in Appendix F of this PUD.~~

~~*3 Neighborhood park acreage based on 575 units X 2.2 pph = 1265 X 3.5 acres/1000 pop. = 4.4 acres.~~

~~*4 All primary, accessory and temporary uses listed as permitted on Table 18.08-05, as modified in 1 & 2 above, can be established by right, subject to compliance with the standards contained in this PUD and the "Additional Use Regulations" contained on Table 18.08-05 as amended. With the exception of tentative maps required to sell individual lots, no further discretionary review is required for each permitted use provided the development complies with the standards contained in this PUD, including the referenced sections of the RMC, as amended. Appendixes E & F contains additions and exceptions to the list of permitted uses from Table 18.08-5 for Villages A, B and C.~~



Neighborhood Park

DAMONTE RANCH

DRAFT

Open-Space
WM
-3

~~FIGURE 6~~
~~Land Use~~

DRAFT

B. Traffic and Circulation Plan

~~Per the Traffic Study prepared by Solaegui Engineers in June 2005 and the addenda letter by Solaegui Engineers dated October 7, 2010 (appendix A-1), the project is expected to generate 11,027 average daily trips with 432 trips occurring during the AM peak hour and 967 trips occurring during the PM peak hour. Traffic will have some impact on the adjacent street network. All tentative/final map applications and building permit submissions shall adhere to the recommendations in the Master Traffic Study and any updates or addenda thereto.~~

1. Intersection Spacing



a. South Meadows Parkway (refer to Figure 7, page 12).

~~The on-site residential collector streets and local streets intersecting South Meadows Parkway shall meet Regional Transportation Commission (RTC) spacing requirements for moderate access control arterials. An addendum to the Traffic Report shall be required to be submitted with each tentative map or building permit to determine intersection design.~~

b. Rio Wrangler Parkway (refer to Figure 7, page 12).

~~The on-site residential collector streets and local streets intersecting Rio Wrangler shall meet Regional Transportation Commission (RTC) spacing requirements for moderate access control arterials. An addendum Traffic Report shall be required to be submitted with each tentative map or building permit to determine intersection design.~~

~~2. Street Design Standards~~

~~Refer to Section III, A, beginning on page 20 for specific design standards for the above noted roadways.~~

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South Meadows Parkway

Pkwy. Extension
1 Lane Moderate Access Control Arterial

Rio Wrangler
2 Lane Moderate Access Control Arterial/Collector Northerly 1,300'

Veterans Parkway

Flood Storage Basin

Rio Wrangler
2 Lane
Moderate
Access
Control
Arterial/
Collector

DAMONTE RANCH

FIGURE 7
Circulation Plan

~~C. Stormwater Management~~

~~1. Site Drainage~~

~~The City of Reno Public Works Design Manual and the standard details for Public Works shall be the design standards for on-site storm drainage system designs and construction. All on-site stormwater management and drainage improvements shall adhere to the Flood Control Master Plan prepared by QuadKnopf Consulting, dated January 11, 2006 and all updates or addenda thereto. (Refer to Appendix B)~~

~~2. Floodplain Mitigation~~

~~The Flood Control Master Plan prepared by QuadKnopf Consulting, dated January 11, 2006 specifies how the 100-year floodplain was mitigated. (refer to appendix B) In summary, the approved flood control plan removed the developable portions of the site from the 100-year floodplain by constructing the Steamboat Creek Natural Corridor (SCNC). The current FEMA DFIRM maps dated March 2009 document that the site is not within the 100-year floodplain. Refer to appendix B-3 for a copy of the March 2009 DFIRM map. All floodplain mitigations shall adhere to the Flood Control master Plan and all updates or addenda thereto.~~

~~a. Timing and Implementation~~

~~As noted in the QuadKnopf study, the following steps have been completed to remove the project from the 100-year floodplain:~~

~~Approval from the Corps of Engineers of the 404 Individual Permit # 200400683. Permit received February 2005, copy in appendix C-1~~

~~Approval of the CLOMR for Phase II by FEMA received August 8, 2007, copy in appendix B-1.~~

~~Approval of the LOMR for Phase II by FEMA received April 25, 2008, copy in appendix B-2~~

~~3. Detention Flood Storage~~

~~The Flood Control Master Plan prepared by QuadKnopf Consulting, dated January 11, 2006, specifies how the detention/flood storage issues are to be addressed for this PUD. (refer to appendix B). All flood storage and detention improvements shall adhere to the Flood Control Master Plan and all updates or addenda thereto.~~

D. Trails, Sidewalks, and Bike Lanes

General

Trails, sidewalks and bike lanes will be provided in accordance with Figure 8, page 14. Sidewalks and bike lanes will be provided on both sides of the arterial roadways. A pedestrian/bike trail will be provided along the east side of the wetland consolidation area and linear park. The arterial roadway sidewalks will connect to the trails in the Damonte Ranch area to the south. The arterial roadway sidewalks and pedestrian/bike trails will also connect to the Steamboat Creek Corridor and the parkway trails in the Bella Vista Ranch PUD to the west. (refer to Figure 8, page 14). The local pedestrian street sidewalks will provide internal connection from villages to the trails and sidewalks noted above.

1. ~~Design Standards/Timing and Implementation~~

~~The pathway and trail standards are specified on page 45, Section III B 3 c of this PUD,~~

South Meadows Parkway

~~6' Sidewalk & Bike Lane~~

~~WM-1~~

~~6'~~

~~S
i
d
e
w
a
l
k
&
B
i
k
e
L
a
n
e~~

~~8' Asphalt Trail~~

~~Unpaved~~



**8' Asphalt
Trail**

Veterans

**WM
-3
DAMONTE RANCH**

**FIGURE-8
Trail, Sidewalk and Bike Lane Plan**

~~E. Wetlands & Major Drainageway~~

~~1. Wetlands~~

~~Several areas of identified wetlands exist within and adjacent to the project. Any modifications or enhancements within wetland areas must be consistent with the Final Wetland Mitigation Plan approved by the Corps of Engineers through individual permit no. 200400683 under Section 404 of the Clean Water Act and the City of Reno Wetlands and Stream Environment Protection Standards, as amended. The wetland mitigation plan prepared by Gibson & Skordal, Wetlands Consultants dated February 2005, and the 404 permit dated October 2005 is located in appendix C and includes additional details regarding the mitigation plan.~~

~~2. Major Drainageway~~

~~The existing drainageway noted on Figure 3, page 3, is defined as a major drainageway because it drains more than 100 acres. It is also categorized as a “disturbed drainageway”, as defined by Reno Municipal Code. The majority of this drainageway currently runs through the middle of the adjacent shooting range on the Damonte Ranch and is un-distinguishable topographically. This drainageway terminates as it drains into the existing irrigation tail water ditch just west of the future Rio Wrangler Parkway. This drainage will be piped from this point to the Steamboat Creek. The portion of the drainageway on this project is to be restored per City of Reno code 18.12.1907(b), and as specified in section III B. 2 of this PUD. (page 43)~~

Stormwater Management

Site Drainage

The City of Reno Public Works Design Manual and the standard details for Public Works shall be the design standards for on-site storm drainage system designs and construction. All on-site stormwater management and drainage improvements shall adhere to the Flood Control Master Plan prepared by QuadKnopf Consulting, dated January 11, 2006 and all updates or addenda thereto. (Refer to Appendix B)

Floodplain Mitigation

The Flood Control Master Plan prepared by QuadKnopf Consulting, dated January 11, 2006 specifies how the 100-year floodplain was mitigated. (refer to appendix B) In summary, the approved flood control plan removed the developable portions of the site from the 100-year floodplain by constructing the Steamboat Creek Natural Corridor (SCNC). The current FEMA DFIRM maps dated March 2009 document that the site is not within the 100-year floodplain. Refer to appendix B-3 for a copy of the March 2009 DFIRM map. All floodplain mitigations shall adhere to the Flood Control master Plan and all updates or addenda thereto.

Timing and Implementation

As noted in the QuadKnopf study, the following steps have been completed to remove the project from the 100-year floodplain.

Approval from the Corps of Engineers of the 404 Individual Permit # 200400683. Permit received February 2005, copy in appendix C-1

Approval of the CLOMR for Phase II by FEMA received August 8, 2007, copy in appendix B-1.

Approval of the LOMR for Phase II by FEMA received April 25, 2008, copy in appendix B-2

Detention – Flood Storage

~~The Flood Control Master Plan prepared by QuadKnopf Consulting, dated January 11, 2006, specifies how the detention/flood storage issues are to be addressed for this PUD (refer to appendix B). All flood storage and detention improvements shall adhere to the Flood Control Master Plan and all updates or addenda thereto.~~

~~F. Infrastructure Phasing~~

~~The following represents the Developer's anticipated timing for the construction of the major backbone infrastructure and how it will be phased. It is based on current market conditions and anticipated construction seasons, both of which could change over time.~~

~~1. Phase IIA~~

~~I. Mass Grading~~

~~Prior to approval of the first building permit submittal for any project in Phase IIA, final improvement plans for any mass grading and or restoration of the Major Drainageway shall be submitted for staff review along with all necessary parcel maps and easements.~~

~~II. Arterial Roadways~~

~~Prior to approval of the first building permit submittal for any project in Phase IIA, final improvement plans shall be submitted for review for phase IIA of Rio Wrangler (refer to Figure 14, page 26). All necessary R.O.W. dedication maps, easements, adjacent landscaping and sound wall/fence improvements shall be included with the submittal.~~

~~Construction of Phase IIA of the Arterial Roadways will occur after approval of the plans. Bonding for the improvements shall be provided with the building permit.~~

~~III. Sanitary Sewer Trunk Lines~~

~~Prior to approval of the first building permit submittal for any project in Phase IIA, final improvement plans shall be submitted for staff review of Phase IIA of the sanitary sewer system (refer to Figure 9, page 17). All necessary easements and bonding for the improvements will be included.~~

~~IV. Water Main - Washoe County Water Resources~~

~~Prior to approval of the first building permit for any project in Phase IIA, final improvement plans shall be submitted for staff review of the Phase IIA water main construction. (refer to Figure 9, page 17). All necessary easements and bonding for the improvements will be included.~~

~~2. Phase IIB~~

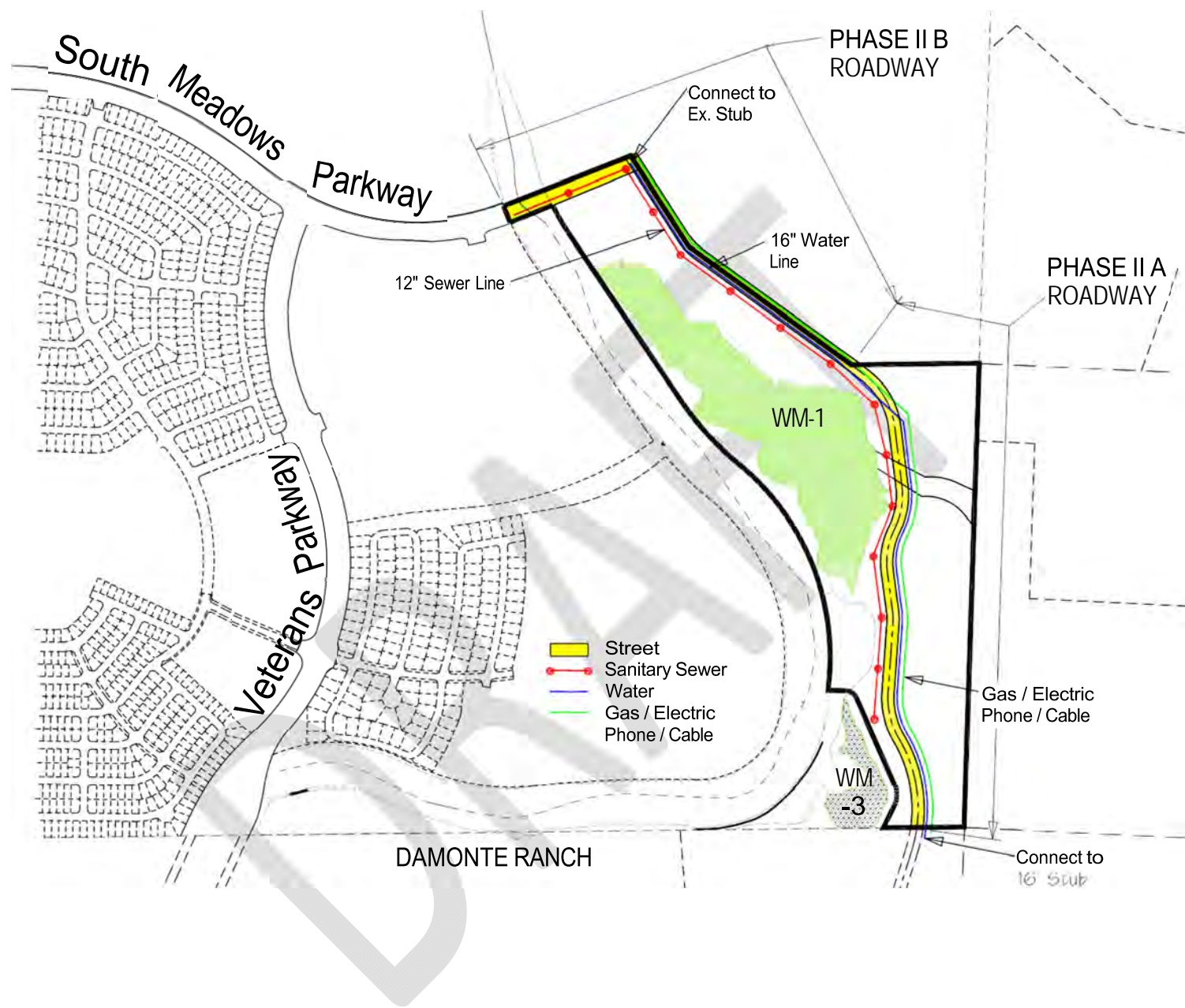
~~I. Arterial Roadways~~

~~Final improvement plans shall be submitted with adjacent subdivision final maps or with building permit submittal for half street improvements for Rio Wrangler and half street improvements for the extension of South Meadows Parkway. (refer to Figures 10A & 10B, pages 20 & 21). All necessary R.O.W. dedication maps, easements, adjacent landscape corridor and sound wall/fencing improvement plans and bonding for the improvements shall be included with the submittal.~~

~~The north half of South Meadows Parkway, including sidewalks, landscaping and sound walls shall be constructed with adjacent development to the north. The east half of Rio Wrangler Parkway, including sidewalks, landscaping and fencing shall be constructed with adjacent development to the east.~~

~~II. On-site Improvements~~

~~On-site public improvements to service individual lots or projects such as, sanitary sewer, water, storm drain, gas, electric and phone shall be constructed with each residential subdivision, multi-family or non-residential development.~~



~~FIGURE 9~~
~~Major Infrastructure Phasing~~

~~G. Public Safety~~

~~1. Police~~

~~The 6-acre public facility parcel approved in the Bella Vista Ranch PUD to the west, may be the location for a future police sub-station.~~

~~If the City of Reno establishes an impact fee for police service per NRS 278B, subsequent to approval of this project, then the residential unit and non-residential square foot police fee shall be created for this PUD concurrent with adoption of the citywide Police Department Facility Fee as allowed per NRS 278B.~~

Fire

The Developer and the City ~~have~~ previously executed a Fire Station Development Agreement ~~and have revised it to reflect current market conditions and the future needs of the fire department.~~ This revised agreement is called the First Amended Public Facility Site Agreement and ~~will include development in~~ this PUD as well as the Bella Vista Ranch PUD to the west. This revised First Amended Public Facility Site Agreement ~~outlines funding fee may identify an alternative site outside of the Bella Vista Ranch, which the Master Developer would agree to help the City provide fire service needs for the PUD. to participate in funding.~~ This funding ~~would be~~ through a per-household and non-residential square foot fee to be collected at building permit. This revised First Amended Public Facility Agreement was completed and approved by the Reno City Council prior to certification of this PUD. The Agreement is appendix G of this PUD handbook.

~~Fee Established for PUD~~

The fee ~~noted above~~ shall be paid into a dedicated account for this purpose prior to approval of any building permit for this PUD, as specified in the First Amended Public Facility Site Agreement.

~~b. Design Requirements~~

~~The First Amended Public Facility Site Agreement shall determine the specific design requirements for the station if the subject Agreement calls for the Fire Station to be located in Bella Vista.~~

~~c. Timing and Implementation~~

~~Timing for the completion of the Fire Station shall be as specified in the First Amended Public Facility Site Agreement and with approval by the Reno City Council prior to or simultaneously with the certification of this PUD.~~

E.G. Common Area Maintenance

~~1. General~~

This PUD will have Protective Covenants that address maintenance ~~issues. It is the owners' intent to annex this PUD into the Bella Vista Ranch PUD (Phase I) Owners Association and CC&R's. and The Bella Vista Ranch PUD to the west is currently being maintained by this Owners Association.~~ Enforcement of activities ~~and~~ will remain under the control of the Owners Association. These areas include parkways, open space areas and trails along drainage ways located outside of the public right-of-way. Project Protective Covenants (CC&R's) will clearly define maintenance responsibilities of the Owners Association versus the responsibility of individual property owners. ~~Protective Covenants (CC&R's) have been recorded for Bella Vista Ranch PUD.~~

~~2. Owners Association~~

~~The Bella Vista Ranch Phase II PUD Owners Association (BVROA) will be overseen by a board of directors. The boards will ultimately hire full-time professional managers, or a Management Company, and associated staff to maintain, develop, and operate common areas, including on-site parks, landscaped parkways and trails along drainage structures outside public rights-of-way. If the BVROA fails to perform this periodic maintenance, then the City has the right to enter the property and perform said maintenance. If the City performs said periodic maintenance, then the City can require reimbursement for these services from the BDROA.~~

~~Several other duties will be performed by the Associations. BVROA duties include, but are not limited to, enforcement of the Protective Covenants; architectural/site improvement review and approval, purchase and maintenance of equipment, materials and supplies for maintenance purposes. In addition, any land that is set aside for common open space within the PUD must be owned and maintained by the BVROA or BVRDD. These associations shall not be dissolved. Disposal of any such common open space by sale or otherwise, is not allowed without first amending this PUD. If an amendment is approved allowing disposal of common area, then the applicant/master developer may offer to dedicate this property to the city of Reno. The city of Reno shall have 120 days to accept or reject the offer to accept the property.~~

~~These requirements and duties are reflected in the master protective covenants recorded on the property for Bella Vista Ranch PUD (Phase I). This PUD will be incorporated into the Bella Vista Ranch PUD CC&R's via an annexation and/or supplemental declaration process.~~

The City of Reno shall not be responsible for maintenance of any on-site private parks, common area improvements, private streets, storm drain channels, detention basins, other flood control facilities or the Steamboat Creek Restoration. The Owners Association or Drainage Maintenance District shall be responsible for maintenance of these facilities.

~~3. Drainage District~~

The Bella Vista Ranch (Phase I) PUD created and established a Drainage Maintenance District called the ~~Bella Vista Ranch~~Cyan Drainage District (~~BVRDDCDD~~), which has the powers and duties to contract for design, ~~construction~~construction, and maintenance of drainage facilities throughout the Bella Vista Ranch PUD. This project shall ~~be incorporated into the existing Bella Vista Ranch CDD district~~ the areas identified as Wetlands and Flood Storage Basin in the Land Use Plan (Figure 7). ~~or a separate district shall be organized and legally instituted prior to or concurrent with the first subdivision Final Map or building permit in Phase IIA or IIB proposing drainage or flood control improvements. It is intended that the project will be incorporated into the existing Phase I BVRDD CDD via an annexation and/or supplemental declaration process.~~

The ~~BVRDD CDD~~ shall be required to remove all vegetation from detention basins, flood storage areas, and low flow channels every two (2) years or as allowed by the Corps of Engineers permit. If the ~~BVRDD CDD~~ fails to perform this periodic maintenance, then the City has the right to enter the property and perform said maintenance. If the City removes the vegetation from detention basins and low flow channels, then the City is entitled to receive reimbursement for these services from the ~~BDRDDCDD~~.

III. DESIGN STANDARDS

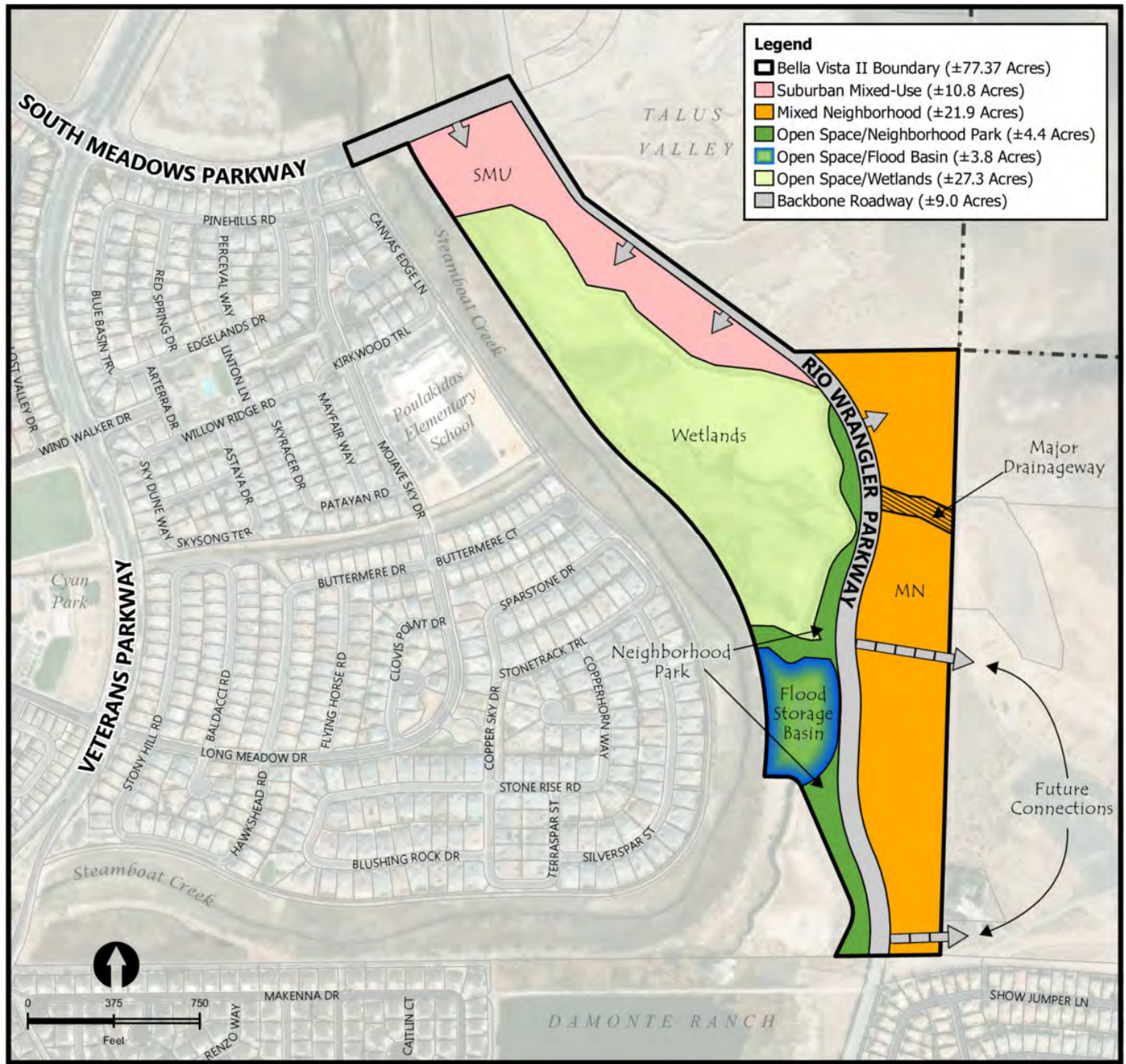


FIGURE 7
Land Use

A. Land Use Descriptions

Allowed uses include detached and attached single family residential, multi-family residential, lower intensity non-residential, parks, greenways/wetlands, and open space. The maximum density, total number of dwelling units and the maximum non-residential square footage for each village is shown on Table 1. The maximum number of dwelling units within the project shall not exceed 609 units (residential) and the non-residential square footage shall not exceed ±117,612 square feet (non-residential).

The Development Plan and Development Standards contained herein are intended to depict the general development vision for the PUD. Sufficient flexibility shall be allowed to permit detailed planning and design at the time of actual development. The acreage of each land use category may be increased by up to 10% if it is demonstrated that additional acreages are necessary due to constraints and/or design considerations to accommodate the project, to the satisfaction of the Administrator. This provision shall not exceed a cumulative total of 10% for each land use category. Changes in excess of 10% shall require an amendment to the Development Standards Handbook. Residential densities and residential dwelling unit allocation may be interchangeable between villages and will be defined fully with the tentative map for any given residential village.

**TABLE 1
LAND USE BREAKDOWN**

<u>Village/Area⁴</u>	<u>Bella Vista II Land Use⁵</u>	<u>Size (Acres)</u>	<u>Min. Net Residential Density³</u>	<u>Max. Gross Residential Density⁴</u>	<u>Approx. Dwelling Units¹</u>	<u>Min. Non-Residential Area</u>	<u>Max. Non-Res. Intensity (sq. ft.)²</u>
<u>SMU</u>	<u>SMU</u>	<u>±10.8</u>	<u>15 du/ac</u>	<u>30 du/ac</u>	<u>324</u>	<u>5 Acres</u>	<u>117,612</u>
<u>MN</u>	<u>MN</u>	<u>±22.0</u>	<u>6 du/ac</u>	<u>30 du/ac</u>	<u>285</u>	<u>N/A</u>	<u>N/A</u>
<u>Neighborhood Park</u>	<u>PGOS</u>	<u>±4.4</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>
<u>Flood Storage Basin</u>	<u>PGOS</u>	<u>±3.8</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>
<u>WM-I</u>	<u>PGOS</u>	<u>±27.4</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>
<u>South Meadows Pkwy/ Rio Wrangler Pkwy</u>	<u>ROW</u>	<u>±9.0</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>
<u>Total</u>		<u>±77.4</u>			<u>609¹</u>		<u>117,612²</u>

Notes:

1. The total amount of residential dwelling units by Village may vary but shall not exceed 609 units throughout the Bella Vista II PUD.
2. The total amount of non-residential may vary as long as the total floor area from non-residential development does not exceed 117,612 square feet throughout the SMU Land Use and a min of 5-acres is provided.
3. Minimum Net Density is calculated by dividing the total number of lots by the total acreage of lot area.
4. Max Gross Density is calculated by dividing the total number of lots by the total Village acreage.
5. All primary and accessory uses listed as permitted on **Table 2**, can be established by right, subject to compliance with the standards contained in this PUD. With the exception of tentative maps required to sell individual lots, no further discretionary review is required for each permitted unless otherwise stated in Table 2 below.

Suburban Mixed-Use

The Suburban Mixed-Use (SMU) land use category allows a mix of retail, commercial, employment, and high-density residential uses that are more appropriate near the two main arterials (South Meadows Parkway & Rio Wrangler Parkway). The mix of uses will serve the existing surrounding developments and the future developments and provide the area with additional residential opportunities. Trails within the SMU area will connect to the existing trail network to provide additional transportation opportunities.

Characteristics specific to the SMU area include:

- Buildings oriented along the main arterials.
- Bike and pedestrian connectivity is required throughout the site and connect to existing adjacent facilities.
- Signage will be limited to monument style only along Rio Wrangler Parkway.
- Design standards are outlined in Section D and E.

Mixed Neighborhood

The Mixed Neighborhood (MN) land use category includes a mix of housing types and can range from higher density housing including; multi-family, alley loaded town homes and condos, to lower density housing types including, triplex and duplex attached housing, zero lot single-family, and traditional single-family detached housing. These standards will allow for range of multi-generational housing, innovative designs, and community amenities that will provide a transition between commercial and lower intensity uses.

Characteristics specific to the MN area include:

- Provide a range of housing types
- Within walking distance to amenities such as retail, commercial centers, parks, and schools and connected with by trails and other bike and pedestrian facilities.
- Design Standards are outlined in Section D.

Parks, Greenways, and Open Space

The Parks, Greenways, and Open Space will protect the natural wetlands identified in WM-1 that connect with the floodways and Flood Storage Basin developed in the original Bella Vista PUD and take advantage of the close proximity to the Steamboat Creek. A ±4.4 acre Neighborhood Park will allow active and passive recreation and help to provide a transition with the natural elements of the property, with the development located in Villages 1 and 2. An extensive network of trails and bike and pedestrian paths will connect throughout the PGOS area and provide recreation opportunities to the surrounding and future developments.

B. Permitted Uses

TABLE 2 BELLA VISTA II PERMITTED USES			
<i>P = Permitted by Right</i> <i>SPR = Site Plan Review Required</i> <i>CUP = Conditional Use Permit Required</i> <i>A = Permitted as Accessory Use</i>			
Use Category/Specific Use Type	BVII Land Use		
	SMU	MN	PGOS
<u>Residential</u>			
Dwelling, Single-Family Detached		P	
Dwelling, Duplex	P	P	
Dwelling, Triplex	P	P	
Dwelling, Fourplex	P	P	
Dwelling, Single-Family Attached	P	P	
Dwelling, Multi-Family	P	P	
Dwelling, Live/Work	P	P	
Manufactured Home	P	P	
Assisted Living Facility	P		
Group Home	P	P	
<u>Commercial Sales and Services</u>			
Animal Clinic, Hospital, or Training Facility (No Shelters, Commercial Boarding/Kennels)	P		
Bakery, Retail	P		
Bar, Lounge, or Tavern	CUP		
Carwash	P		
Child Care Center	P		
Cleaners, Commercial	P		
Convenience Store	P		
Financial Institution	P		
Automated Teller Machine, Freestanding	P		
Gas Station	CUP		
General Retail, less than 10,000 Square Feet	P		
Laboratory	CUP		
Medical Facility, Day Use Only	P		
Microbrewery, Distillery, or Winery	P		
Office, General	P		
Personal Service, General	P		
Plant Nursery or Garden Supply	P		
Restaurant	P		
Restaurant with Alcohol Service	P		
<u>Recreation, Entertainment, and Amusement</u>			
Amusement or Recreation, Inside	P		
Public Park or Recreation Area	P	P	P
<u>Lodging</u>			
Hotel	P		
<u>Institutional, Public, and Community Service</u>			
Communication Facility, Equipment Only	P	P	
Library, Art Gallery, or Museum	P		
Public Transit or School Bus Shelter	P	P	P
Religious Assembly	P	CUP	
School, Primary or Secondary (Public or Private)	SPR	SPR	
School, Vocational or Trade	SPR		
Utilities, Major	CUP	CUP	
Utilities, Minor	P	P	P

**TABLE 2
BELLA VISTA II PERMITTED USES**

*P = Permitted by Right
SPR = Site Plan Review Required
CUP = Conditional Use Permit Required
A = Permitted as Accessory Use*

<u>Use Category/Specific Use Type</u>	<u>BVII Land Use</u>		
	<u>SMU</u>	<u>MN</u>	<u>PGOS</u>
<u>Industrial, Manufacturing, Wholesale, Distribution and Transportation</u>			
<u>Custom and Craft Manufacturing</u>	<u>P</u>		
<u>Food Processing/Wholesale Bakery</u>	<u>P</u>		
<u>Mini-Warehouse</u>	<u>CUP</u>		
<u>Accessory Uses</u>			
<u>Accessory Dwelling Unit (ADU)</u>		<u>A - SPR</u>	
<u>Caretaker Quarters</u>	<u>A</u>		
<u>Child Care, In Home (1-6 Children)</u>		<u>A</u>	
<u>Child Care, In Home (7-12 Children)</u>		<u>A-SPR</u>	
<u>Community Center, Private</u>	<u>A</u>	<u>A</u>	
<u>Drive Through Facility (Food & Non-Food Service)</u>	<u>A</u>		
<u>Gaming Operation, Restricted</u>	<u>A</u>		
<u>Home Occupation</u>	<u>A</u>	<u>A</u>	
<u>Sidewalk Cafes</u>	<u>A</u>		

Notes and Additional Use Requirements:

- Primary Uses not listed in Table 2 are not allowed, unless approved by the Master Developer and the City of Reno Zoning Administrator.
- Allowed Temporary Uses are as defined in RMC Section 18.08.201 Table 3-1, as amended, under the NC zoning districts for SMU, and Residential for the MN land use, and PGOS in the RMC.
- A CUP is required for uses that open before 6am or stay open past 11pm.
- A CUP is required for uses that require deliveries before 6am or past 11pm.

C. Residential Design Standards

Lot and parcel standards for all permitted residential uses are outlined in **Table 3** and are specific to the land use established in **Figure 7**. The land use establishes the base design standards for each village within this PUD. These standards shall apply to all residential development applications and building permit requests, except parcel maps establishing roadways. Each development application or building permit request shall comply with the design standards for residential in the SMU or MN land use categories. These standards determine the bulk, density, intensity, site and building design standards within the PUD.

Residential uses such as single-family attached/detached, condos, and multi-family dwelling units, and any accessory structures shall be sited on lots/parcels to conform to the minimum lot and parcel standards as outlined in **Table 3**. Standards not addressed on **Table 3** shall be consistent with the NC-Neighborhood Commercial zoning district for SMU (RMC 18.02.310, as amended) and the MF-30 Multi-Family Residential zoning district for MN (RMC 1802.210, as amended).

TABLE 3

RESIDENTIAL-LOT/PARCEL STANDARDS		
Density/Intensity Standards (a)	SMU	MN
Dwelling Units per Acre Max.(du/ac)	30	30
Landscape Area (Multi-Family/Attached/Condos) (b)	20%	20%
Max. Building Height (feet)	35	35
Minimum Yard & Setbacks (feet)		
Front Yards (b)(c)	10	10
Garage Setback (face of garage)	3 or 20	3 or 20
Side Yards	0 or 5	0 or 5
Rear Yards	10	10
Building Separation	20 (10 if less than 50 units)	
Accessory Structures (d)		
Driveways (feet long)	20	20
Min. usable open space (sf/unit)	100	100

Notes and Additional Requirements:

- a. Setbacks for Suburban Mixed-Use and Mixed Neighborhood may be modified with a tentative map or a minor/major deviation to address unique housing products.
- b. Single-family detached products will require the entire front yard to be landscaped. Front yard setbacks for residential projects shall apply to the front face of the house or garage. All garages shall be served by driveways not less than 3 or 20 feet in length. Side loaded garages may meet the same front yard setbacks as the house. Builders may provide for variations (but no less than the minimum setbacks) in front yard setbacks and/or building articulation to create an interesting streetscape.
- c. Minimum front yard setback shall be 20 feet adjacent to arterial or collector streets.
- d. Accessory building setbacks shall conform to Reno Municipal Code Title 18.08.203 Table 18.08.9B Bulk, Dimensional, Density and Intensity Standards for accessory structures and uses, as amended and based upon the land use for the project as described in the first paragraph of section III C of this PUD.

Residential Architectural Elements

Exterior Elements

Exterior materials shall include a combination of patterns and textures to provide a range of products with similar styles and architectural accents. Sample material boards shall be reviewed and approved by the BVROA. Siding materials shall be continued down to within 8 inches of finished grade on all elevations to eliminate large areas of exposed foundation. Building materials shall be compatible in scale with the design of the residences. Materials must also be compatible throughout each village.

Exterior Colors

All exterior color schemes as shown on sample color boards, shall be reviewed and approved by the BVROA. Exterior colors shall be in harmony with the natural setting. Color intensity shall be kept low for large surfaces.

Facades and Articulation

Architectural features such as: varying window sizes and shapes, shutters, broken planes and pitched roofs, covered entries and porches, porch rails, columns and trim detailing help to define the fronts of the homes and garages; and shall be incorporated into the design of the residences.

Large blank walls, roofs, non-articulated garage doors, are not permitted. Side entry garages are permitted.

Building materials and architectural features, compatible with the front of the houses shall

be provided on all sides of the homes. Rear and side elevations adjacent to common open space areas shall be finished in a similar manner as the front elevations, subject to review and approval by the BVROA.

Roofs

Roof colors shall be consistent with the color scheme of the buildings. Varying pitched roofs are encouraged. A variety of pitched roofs may be provided. The BVROA shall review and approve the color palette of roofing within each village.

Roof materials shall be applied to comply with snow load and high wind standards. Materials may include:

- 1) Concrete or clay tile (flat or barrel),
- 2) Non-reflective architectural metal,
- 3) 40-year architectural grade composition shingles,
- 4) 40-year fiberglass composition shingles

Roof materials, however, must be consistent throughout each village.

House Plans

Each village shall have a minimum of four distinct house plans. House design shall vary throughout each village with no one elevation repeated for abutting homes, or mirrored across the street. Adjacent lots may share the same floor plan, but must have different elevations.

Exterior Lighting

Lighting shall be integrated with the architectural design of the individual residences. Lights shall be shielded to prevent light spillage onto adjacent properties or streets.

Flood lights are not permitted. Motion detector actuators are permitted with designer fixtures only and subject to approval by the BVROA.

Miscellaneous Design Elements

Awnings, Trellises, Patio Covers, Decks and Other Accessory or Ancillary Structures

Awnings, trellises, patio covers, second story decks and other accessory or ancillary structures including granny flats and casitas, provided by builders, shall be consistent in material, color and architectural character as the main structure and must be reviewed and approved by the BVROA. Protrusions into the setback will be allowed in accordance with RMC, as amended

Chimneys

Exterior materials of chimneys shall be compatible with the exterior materials and colors used on the house.

D. Non-Residential Design Standards

Lot and parcel standards for all permitted non-residential uses are outlined in **Table 4** and are specific to the land use established in **Figure 7**. The land use establishes the base design standards for each village within this PUD. These standards shall apply to all nonresidential development applications and building permit requests, except parcel maps establishing roadways. Each development application or building permit request shall comply with the design standards for nonresidential in the SMU or PGOS land use categories. These standards determine the bulk, density, intensity, site and building design standards within the PUD.

Non-residential structures and any accessory structures shall be sited to conform to the minimum lot and parcel standards as outlined in **Table 4** below or can be modified with a tentative map or a minor or major deviation to address unique products.

TABLE 4

NON-RESIDENTIAL – LOT DEVELOPMENT STANDARDS		
Density/Intensity Standards	SMU	PGOS
Floor Area Ratio (FAR) Max.	None	N/A
Landscape Area	20%	20%
Building Height (feet)	35	35
Lot Size		
Minimum Lot Width (feet)	None	
Minimum Lot Size	None	
Yard & Setback Dimension		
Front Yards (feet) (c)	10	20
Side Yards (feet)	0 or 10	0 or 10
Rear Yards (feet)	10	15
Building Separation (feet)	20	20
Setbacks from Adjacent Residential Uses		
All Yards (feet)	20 or height of building, whichever is greater	

Notes:

- All architectural design standards per Reno Municipal Code 18.08.301 (a) (10), and 18.12.305(b) as amended.
- Front yard setbacks adjacent to Rio Wrangler Parkway shall be 25 feet.

A-E. Street Design Standards

~~Streets within this PUD include arterials, collectors, and local streets. Arterial and collector streets are identified on as identified in Figure 5, Major Roadways 7, page 12. Local streets are defined as streets within individual villages and are not depicted on the Circulation Figure. The Master Developer will be responsible for construction of the arterial and collector streets and associated improvements. Arterial/collector streets shall be improved with paving, curb, gutter, sidewalk, fencing and landscaping in accordance with Figures 8A, 8B, 9A, 9B, 10A, and 10B. Local streets and associated improvements will be constructed by the developer. Local streets are defined as public or private streets within individual villages and will be identified during the tentative map or building permit process. Local Streets are not depicted in Figure 5.~~

Intersection Spacing

The on-site residential collector streets and local streets intersecting South Meadows Parkway and Rio Wrangler Parkway shall meet Regional Transportation Commission (RTC) spacing requirements for moderate access control arterials. An updated traffic letter supporting the Traffic Report shall be required to be submitted with each tentative map or building permit to determine intersection design. The intersection locations depicted in Figure 5 are subject to change and will be finalized during the tentative map process.

Arterial Streets (South Meadows Parkway)

South Meadows Parkway extension will include the extension of South Meadows Parkway from the existing terminus in Bella Vista. This will include a culvert crossing over Steamboat Creek and eventually connect to Rio Wrangler Parkway. There are two cross sections proposed which will be designed to arterial street standards as outlined in Figure 8A & 8B.

Since this street is planned for in the adjacent property (Talus Valley), the Bella Vista II Master Developer shall only be responsible for half street improvements. Once complete, South Meadows Parkway shall be improved with paving, curb, gutter, sidewalk, fencing/sound walls (where applicable), and landscaping. The Master Developer South Meadows Parkway will construct two travel lanes, a bike lane, and a 10-foot wide shared use path for the South Meadows Parkway Steamboat Creek Crossing (Figure 8B), and the remaining portion of South Meadows Parkway will include the center 14 ft. landscaped median, south 2 lanes, and south 21-feet of landscape with a 10-foot wide shared use path (Figure 8A). The north half of

South Meadows Parkway will be constructed by others (Talus Valley).

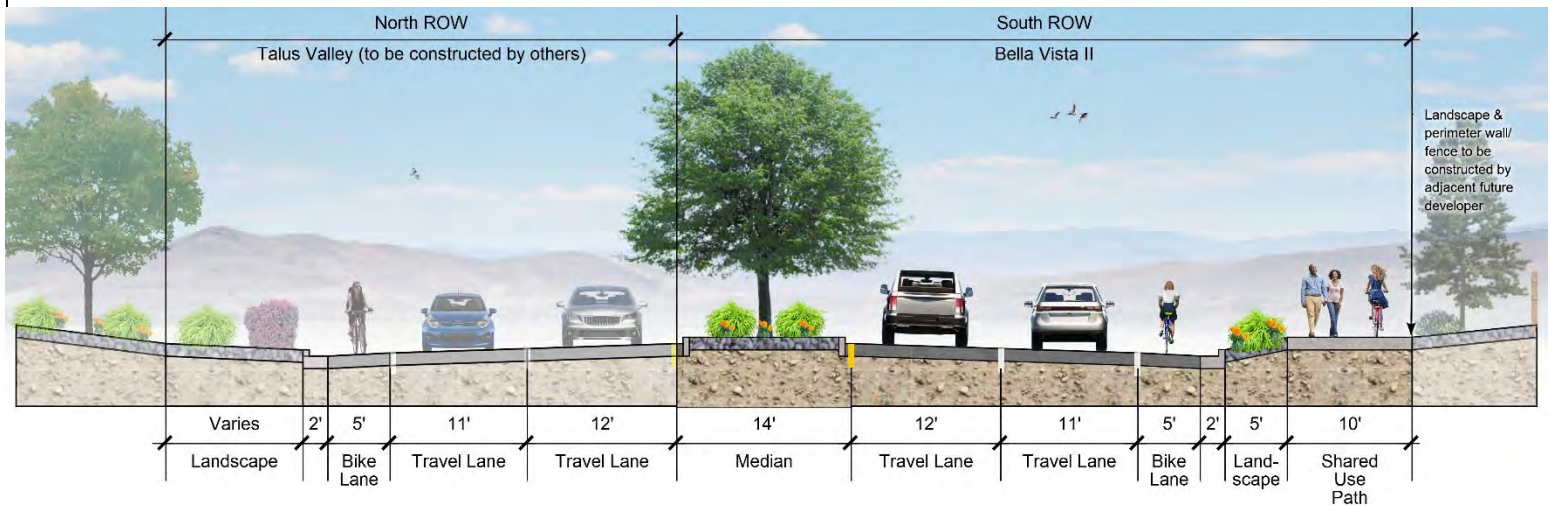


Figure 8A
South Meadows Parkway

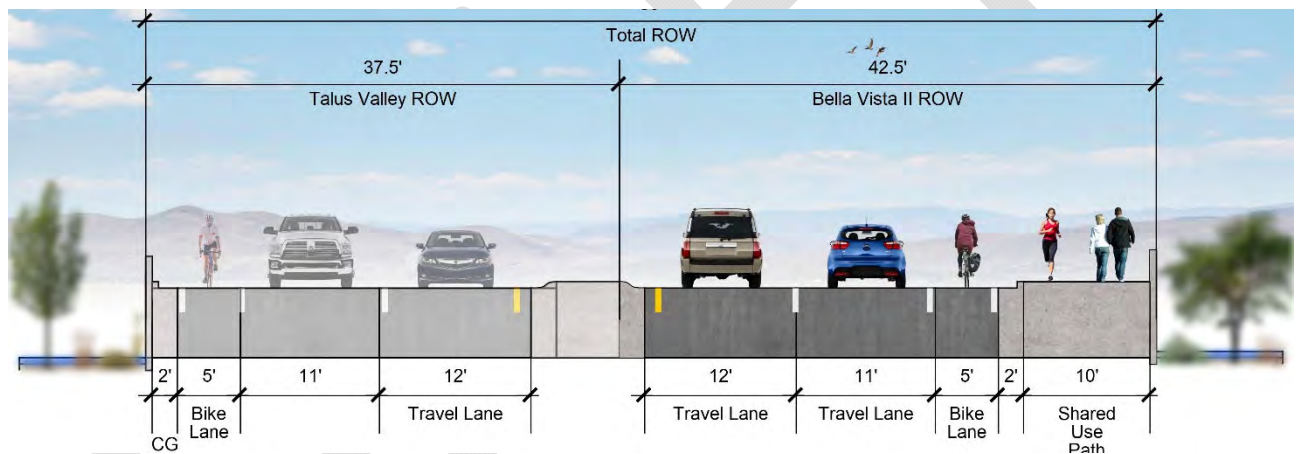


Figure 8B
South Meadows Parkway – Steamboat Creek Crossing

Arterial Street Parking and/or Direct Residential Access

On street parking and/or direct residential driveway access is not permitted on arterial streets.

Arterial Intersection Entry Treatment

Intersections of arterial with designated major or village entrances are encouraged to incorporate signage and enhanced landscape.

Arterial Street Fencing/Walls

Required fencing/wall design and materials shall be in accordance with **Figure 12**. Required fencing design and materials, including alternative fencing design shall be in accordance with **Figure 11**.

Solid fencing, six (6) feet in height shall be consistent throughout the project in accordance with **Figure 11**. When changes in elevations occur, fences shall be stepped in equal intervals, rather than sloped. Fencing along arterial/collector streets shall include pilasters, spaced at least every 80 feet. Fencing along Arterials Streets adjacent to a non-residential use are not required.

Arterial Street Signs

All street signs, traffic signs and directional signs that control vehicular traffic along arterial streets shall be standard city signs with standard posts.

Arterial Street Utility Standards

Above ground utility appurtenances shall be screened from public view from all streets. Screening shall be accomplished with the use of berms, walls, fences, blending colors and/or vegetation. If fences or walls are used, materials shall be consistent with arterial and collector walls or fencing and rock veneer walls.

Utility buildings and structures shall be designed to fit into the architectural character of the adjacent residential or non-residential community. Where feasible, utility appurtenances and buildings shall be located in planter areas and not in turf areas.

Arterial Street Horizontal, Vertical and Pavement Section Design

Design of arterial roadways shall be per the City of Reno Public Works Design Manual. The exception is intersection spacing, which shall be provided in accordance with RTC standards.

South Meadows Parkway Crossing of Steamboat Creek

The South Meadows Parkway crossing of the Steamboat Creek design details shall include exterior treatments and railings as approved by the Army Corps of Engineers through their individual permit and to the satisfaction of city staff. Design details for this crossing shall be submitted with improvement plans for the construction of the south half of South Meadows Parkway. This section maybe completed by the Master Developer or by others (Talus Valley).

Arterial Street Landscape/Streetscape

Landscape will be designed in accordance with Reno Municipal Code Sections 18.04.801 through 18.04.809, as amended.

Collector Streets (Rio Wrangler Parkway)

Rio Wrangler Parkway will be constructed to collector street standards as outlined in **Figure 9A and 9B**. Rio Wrangler Parkway will run north to south from the future extension of South Meadows Parkway to the current termination of Rio Wrangler Parkway in Damonte Ranch.

Rio Wrangler is proposed to be completed in two phases. Phase A will include the northwest $\pm 1,300$ foot section of Rio Wrangler Parkway and will be constructed with only half street improvements within the Bella Vista II PUD, (**Figure 9A**). This will include half of the center landscaped median, the west lane (southbound), west bike-lane, and the west 20 feet of landscape, sidewalk and fence improvements, (all landscaping, retaining and walls/fence shall be maintained by the project HOA). The eastern portion of half street improvements will be completed by others (Talus Valley).

The southern $\pm 2,700$ feet of Rio Wrangler Parkway will include full street improvements as identified in **Figure 9B**.

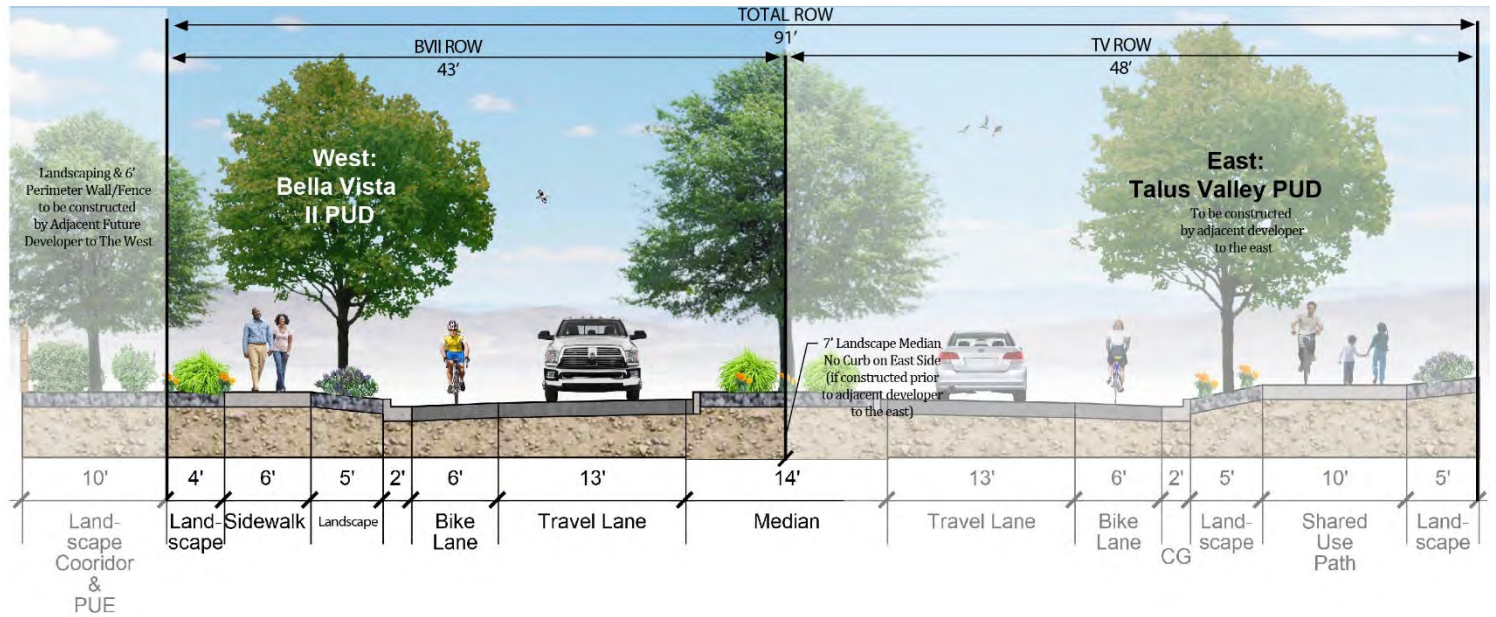


Figure 9A
Collector Street Section- Rio Wrangler Parkway (Phase A)

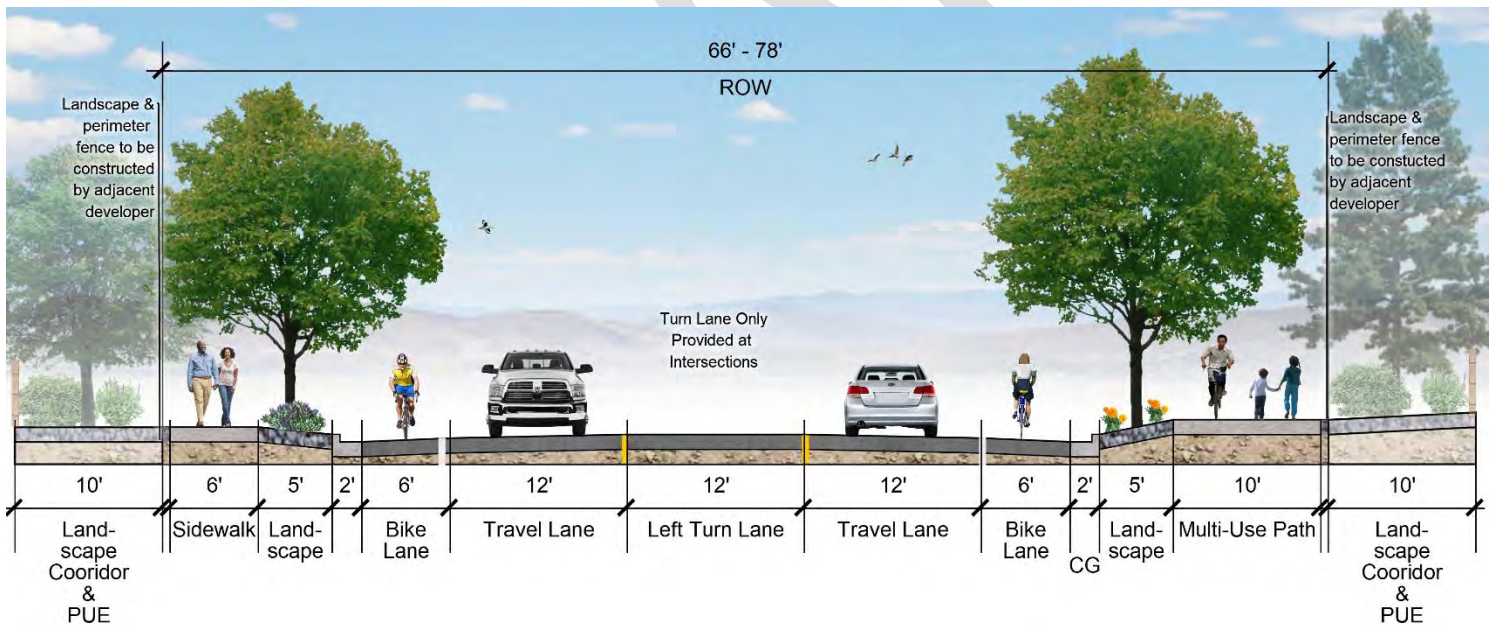


FIGURE 9B
Collector Street Section - Rio Wrangler Parkway (Phase B)

1. Arterial Streets—South Meadows Parkway and northern ±1,300 feet of Rio Wrangler

The Developer will be responsible for construction of arterial streets and associated improvements, as specified in Infrastructure Phasing Section II F, beginning on page 15 and illustrated in **Figure 9**, page 17.

a. Street Improvements

Arterial streets shall be improved with paving, curb, gutter, sidewalk, sound walls and landscaping in accordance with **Figures 10A & 10B** and **Figure 11**, page 22. The Phase IIB section of South Meadows Parkway will be constructed with only the center 14 ft. landscaped median, south 2 lanes and south 31' of landscape,

Figure 10A

Arterial Street Section—South Meadows Parkway

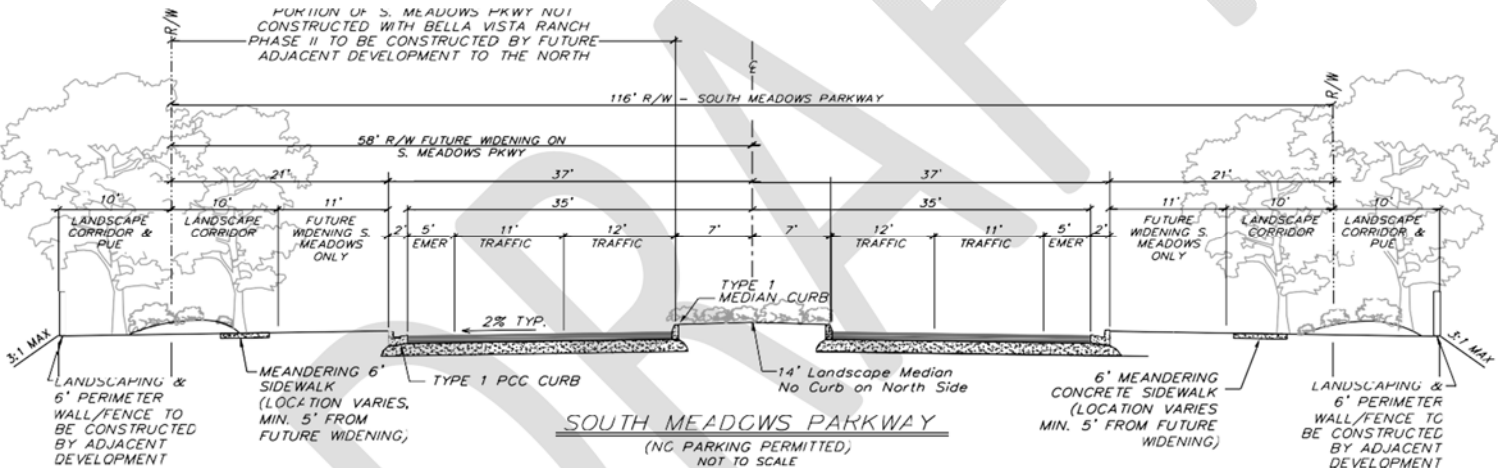
~~sidewalk and sound wall improvements. The Phase IIB section of Rio Wrangler will be constructed with only the center 10 ft. landscaped median, west lane and west 20' of landscape, sidewalk and fence improvements. (All landscaping, retaining and sound walls shall be maintained by the project HOA.)~~

b. Parking and/or Direct Residential Access

~~On street parking and/or direct residential driveway access is not permitted on arterial streets.~~

c. Sound Walls

~~Required sound wall design and materials shall be in accordance with **Figure 12**, page 24. Required fencing-~~



~~design and materials, including alternative fencing design shall be in accordance with **Figure 16**, page-~~

29. Intersection Entry Treatment

~~Intersections of arterials with designated village entrances, (**Figure 19**, page 33) shall be accented with natural rock veneer walls at all corners, ground cover, perennials, and evergreen trees per **Figure 22**, page 36.~~

Street Signs

~~All street signs, traffic signs and directional signs that control vehicular traffic along arterial streets shall be standard City signs with standard posts~~

Utility Standards

~~Above ground utility appurtenances shall be screened from public view from all streets. Screening shall be accomplished with the use of berms, walls, fences, blending colors and/or vegetation. If fences or walls are used, materials shall be consistent with arterial and collector walls or fencing and rock veneer walls.~~

~~Utility buildings and structures shall be designed to fit into the architectural character of the adjacent residential or non-residential community. Where feasible, utility appurtenances and buildings shall be located in planter areas and not in turf areas.~~

Horizontal, Vertical and Pavement Section Design

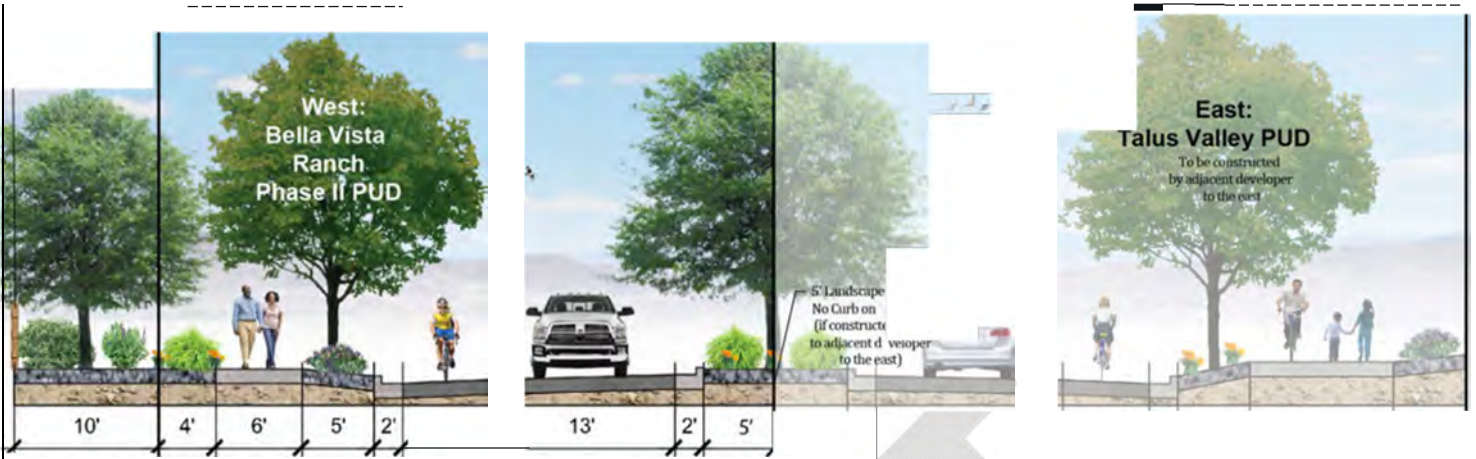
~~Design of arterial roadways shall be per the City of Reno Public Works Design Manual. The exception is intersection spacing, which shall be provided in accordance with RTC standards. (refer to Section 11, B, page 11)~~

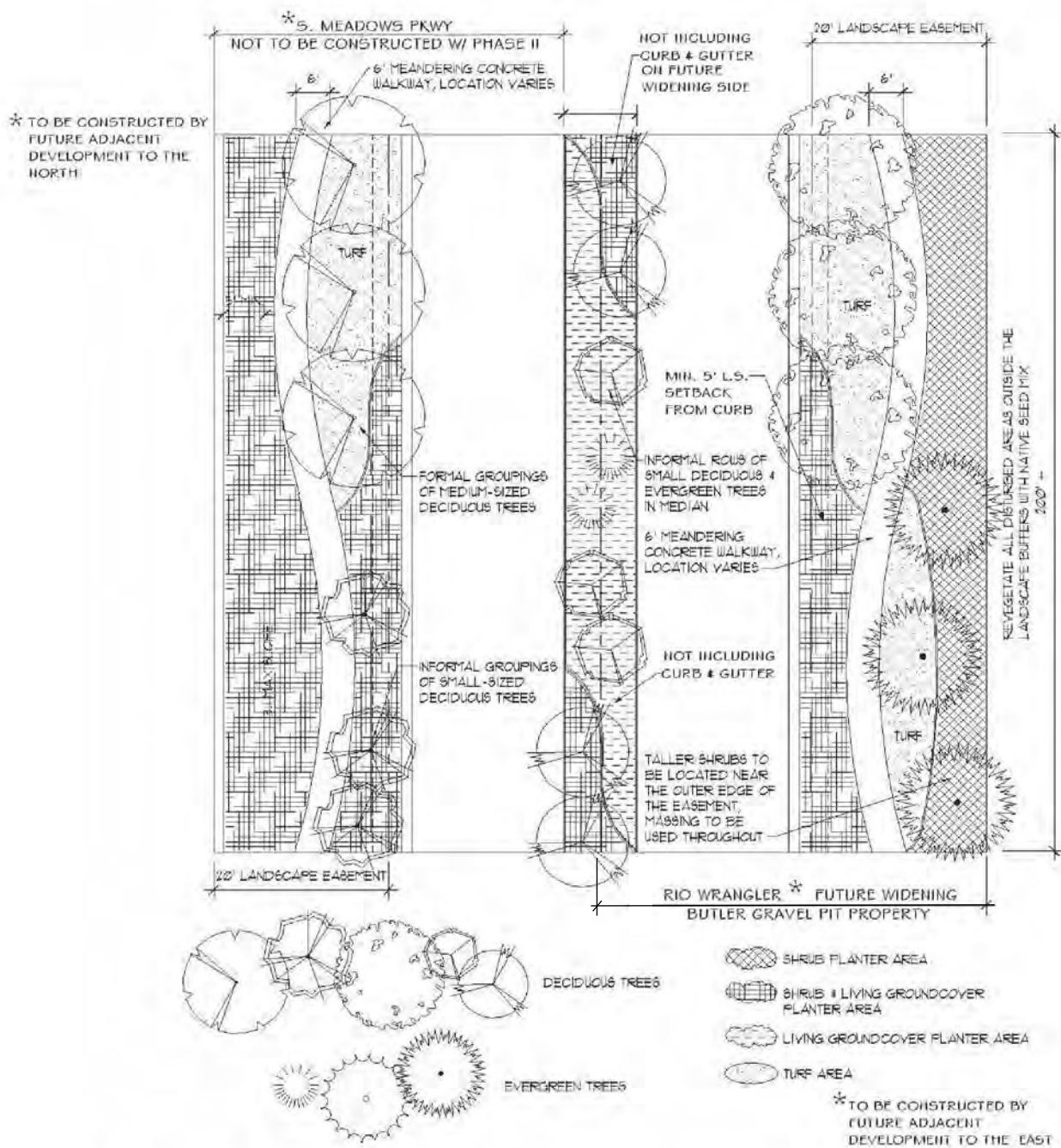
South Meadows Parkway Crossing of Steamboat Creek

~~The South Meadows Parkway crossing of the Steamboat Creek shall be constructed with the same-~~

bridge/structure design used for Veterans Parkway crossing of Steamboat Creek in the Bella Vista Ranch PUD to the west. Design details shall include exterior treatments and railings as approved by the Army Corps of Engineers through their individual permit and to the satisfaction of city staff. Design details for this crossing shall be submitted with improvement plans for the construction of the south half of South Meadows Parkway.

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91' ROW

Landscaping & 6'

Perimeter Wall/Fence

Phase 118

to be constructed

by Adjacent
Future
Developer to
The West

Median

East Side

Median

Median

Landscaping

Landscaping
Meandering
Bike

6'

5'

2'

13'

6'

2'

5'

10'

5'

Travel Lane

Landscaping

Travel Lane

Bike Lane

Shared

Landscaping

Corridor
&
PUE

scapes

Lane

CG
Median
CG

Lane

CG
scapes

Use
Path

scapes

Side
walk
(Location
Varies,

Min. 5'
From
Back
of
Gurb)

Figure 10B

Arterial Street Section - Rio Wrangler Parkway

Intersection Entry Treatment

~~Intersections of arterials with designated village entrances, (Figure 10, page 33) shall be accented with natural rock veneer walls at all corners, ground cover, perennials, and evergreen trees per Figure 22, page 36.~~

~~e. Street Signs~~

~~All street signs, traffic signs and directional signs that control vehicular traffic along arterial streets shall be standard City signs with standard posts~~

~~f. Utility Standards~~

~~Above ground utility appurtenances shall be screened from public view from all streets. Screening shall be accomplished with the use of berms, walls, fences, blending colors and/or vegetation. If fences or walls are used, materials shall be consistent with arterial and collector walls or fencing and rock veneer walls.~~

~~Utility buildings and structures shall be designed to fit into the architectural character of the adjacent residential or non residential community. Where feasible, utility appurtenances and buildings shall be located in planter areas and not in turf areas.~~

~~g. Horizontal, Vertical and Pavement Section Design~~

~~Design of arterial roadways shall be per the City of Reno Public Works Design Manual. The exception is intersection spacing, which shall be provided in accordance with RTC standards. (refer to Section 11, B, page 11)~~

~~h. South Meadows Parkway Crossing of Steamboat Creek~~

~~The South Meadows Parkway crossing of the Steamboat Creek shall be constructed with the same bridge/structure design used for Veterans Parkway crossing of Steamboat Creek in the Bella Vista Ranch PUD to the west. Design details shall include exterior treatments and railings as approved by the Army Corps of Engineers through their individual permit and to the satisfaction of city staff. Design details for this crossing shall be submitted with improvement plans for the construction of the south half of South Meadows Parkway.~~

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TABLE 2

**South Meadows Parkway / N. ±1300 ft of Rio Wrangler (±4000 S.F. TOTAL
LANDSCAPE AREA PER 200 L.F.)***

Plant Materials	Quantity	Plant Size	Min. Tree Size	O.C.**
Trees	14			
	7 Deciduous		2.5" Deciduous	
	4 Evergreen		6' Evergreen	
	3 Evergreen		10' Evergreen	
Shrubs	40	40 @ 5 gal		8'
	50% = 2000 s.f.			
Living Groundcover	20	10 @ 5 gal		8'
	25% = 1000 s.f.	10 @ 1 gal		6'
Turf	25% = 1000 s.f.			

* **NOTE:** Tree and plant quantities and spacing apply to each side of the street.

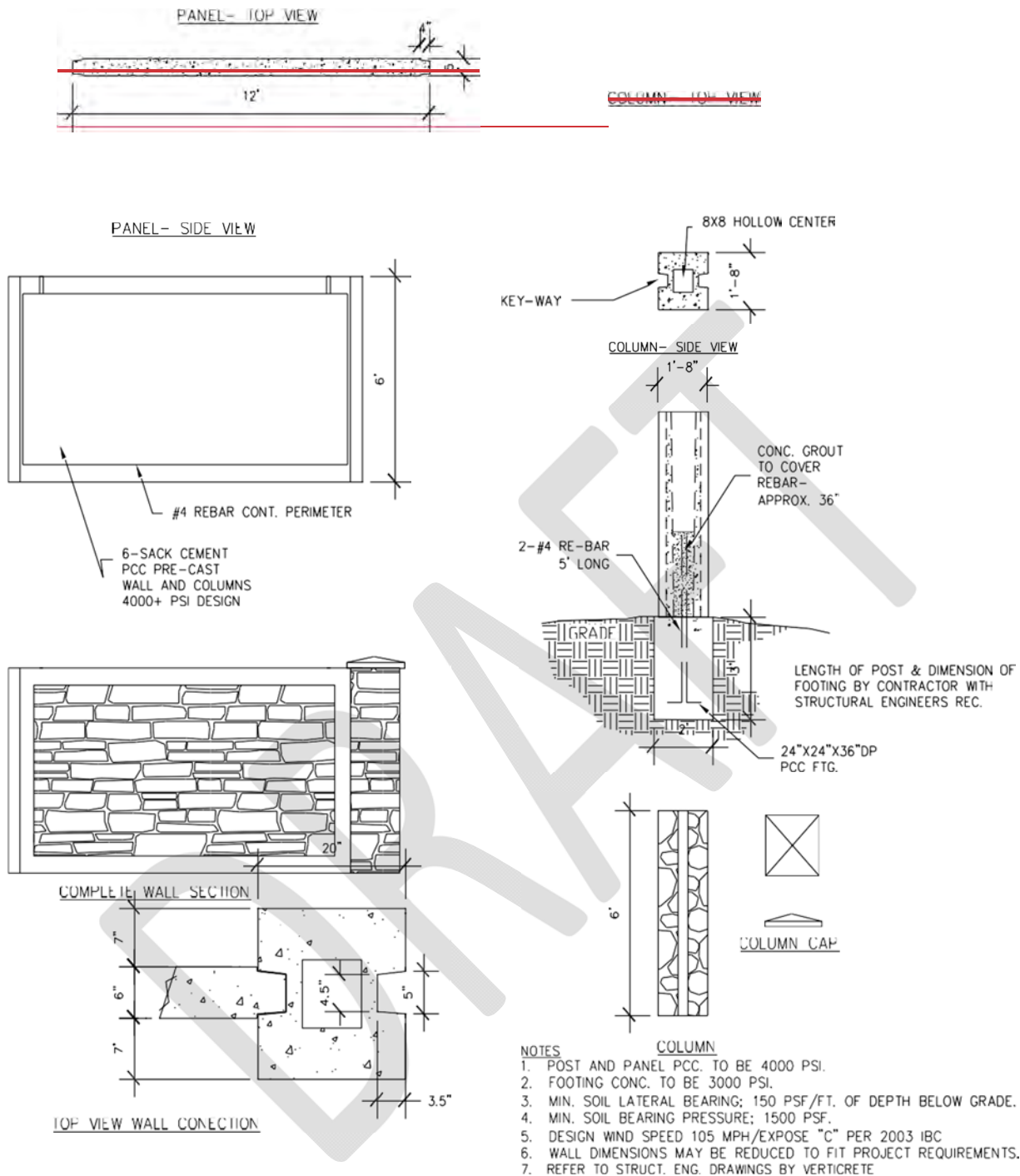
TABLE 3

**South Meadows Parkway / N. ±1300 ft of Rio Wrangler
Median (included in half street improvements constructed with this PUD)
(±2,800 S.F. TOTAL LANDSCAPE AREA PER 200 L.F.)**

Plant Materials	Quantity	Plant Size	Min. Tree Size	O.C.**
Trees	9			
	6 Deciduous		2.5 Deciduous	
	2 Evergreen		6' Evergreen	
	1 Evergreen		10" Evergreen	
Shrub	20	10 @ 5 gal		8'
	50% = 1,400 s.f.	10 @ 1 gal		6'
Living Groundcover	40	40 @ 1 gal		6'
	50% = 1,400 s.f.			

*NOTE: Tree and plant quantities and spacing apply to each side of the street.

**On center planting of shrubs and living ground covers is dependent on mature size of plant materials so that plants grow together and cover the ground area. These numbers represent an average and will be adjusted dependent on the species determined by Landscape Architect and Administrator

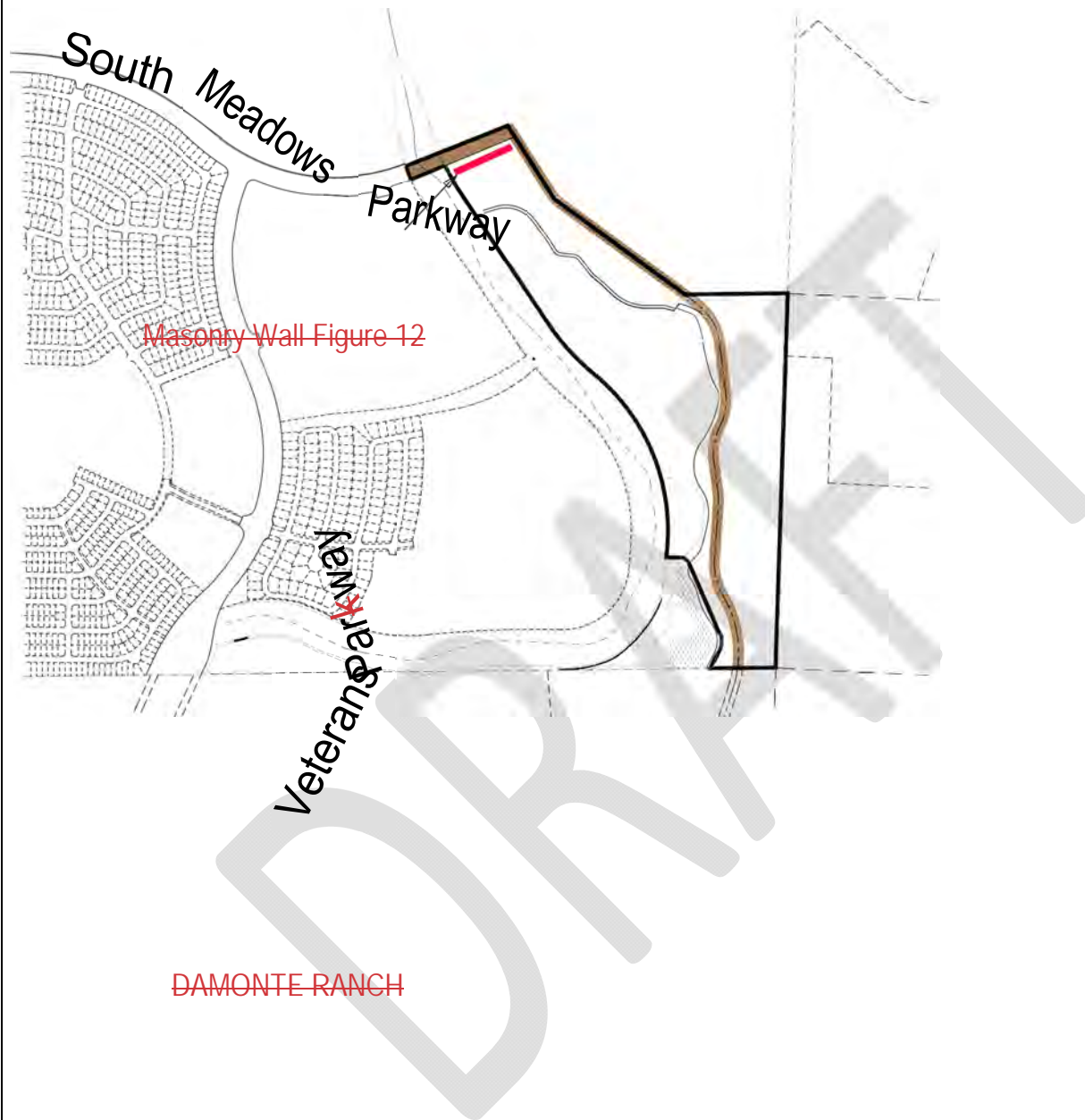


VERTI-CRETE PRE-CAST SOUNDWALL

not to scale

FIGURE 12

Masonry Sound Wall with Pilaster (Refer to **Figure 13**, page 25 for locations)



DAMONTE RANCH

FIGURE 13
Masonry Sound Wall Locations

Arterial/Collector Streets—Rio Wrangler Parkway—Southern two (2)-lane section (south ±1300 ft. to south property line)

The Developer will be responsible for construction of arterial/collector streets and associated improvements, as specified in Section II F, page 15 and illustrated in **Figure 9**, page 17.

i. ~~Street Improvements~~

Arterial/collector streets shall be improved with paving, curb, gutter, sidewalk, fencing and landscaping in accordance with **Figure 14**, page 26 and **Figure 15**, page 27.

Collector Street Parking and/or Direct Residential Access

On street parking and /or direct residential parking access is not permitted on arterial streets.

Collector Street Sidewalk/Trail Connections

Sidewalks/Trails along collectors for all projects shall be connected to sidewalks within residential and non-residential villages and arterial streets, collector streets and sidewalk trails within access easements to open space paths, as appropriate.

Arterial/Collector Street Fence or Equivalent

~~Arterial/collector~~ street fence design and materials shall be in accordance with **Figure 116**, page 29. As an alternative, a 4-foot¹ or higher change in elevation from the roadway to adjacent lots, combined with a 4-foot¹ fence, may be substituted to provide views of the wetland corridor and linear park. (**Figure 16**, page 29). All fencing, landscaping, and sidewalks along arterial/collectors shall be maintained by the project Owners Association (~~BVROA~~).

Solid fencing, six (6) feet in height shall be consistent throughout the project in accordance with **Figure 11**. When changes in elevations occur, fences shall be stepped in equal intervals, rather than sloped. Fencing along collector streets shall include pilasters, spaced at least every 80 feet. Fencing along Collector Streets adjacent to a non-residential uses are not required.

Collector Street Intersection Entry Treatment

Intersections of ~~arterial/collectors~~ are encouraged to include signage and enhanced landscape for with designated major or village entrances. (**Figure 20**, page 34) shall be accented with natural rock veneer walls at all corners, ground cover, perennials, and evergreen trees per **Figures 21 & 22**, page 35 & 36.

Collector Street Signs

All street signs, traffic signs and directional signs that control vehicular traffic along collector streets shall be standard City signs with standard posts.

Collector Street Utility Standards

Above ground utility appurtenances shall be screened from public view from all streets. Screening shall be accomplished with the use of berms, walls, fences, blending colors and/or vegetation. If fences or walls are used, materials shall be consistent with arterial and collector fencing and rock veneer walls.

Utility buildings and structures shall be designed to fit into the architectural character of the adjacent residential community or non-residential development. Utility appurtenances and buildings shall be located in planter areas and not in turf areas, where feasible.

Collector Street Horizontal, Vertical and Pavement Section Design

Design of collector roadway shall be per the City of Reno Public Works Design Manual. The exception is intersection spacing, which may be provided at ¼ mile intervals.

Collector Street Landscape/Streetscape

Landscape will be designed in accordance with Reno Municipal Code Sections 18.04.801 through 809, as amended

Rio Wrangler Parkway (south ± 1300 ft to south project boundary)
(± 4000 S.F. TOTAL LANDSCAPE AREA PER 200 L.F.)*

<u>Plant</u> <u>Materials</u>	<u>Quantit</u> <u>y</u>
----------------------------------	----------------------------

<u>Trees</u>	<u>14</u>
	<u>7</u>
	<u>Deciduo</u>
	<u>us</u>
	<u>4</u>
	<u>Evergre</u>
	<u>en</u>
	<u>3</u>
	<u>Evergre</u>
	<u>en</u>

Shrubs

40
50% =
2000 s.f.

Living
Groundcover
f

20
25% =
1000 s.f.

Turf

25% =
1000 s.f.

* **NOTE:** Tree and plant quantities and spacing apply to each side of the street.

**On center planting of shrubs and living ground covers is dependent on mature size of plant materials so that plants grow together and cover the ground area. These numbers represent an average and will be adjusted dependent on the species determined by Landscape Architect and Administrator

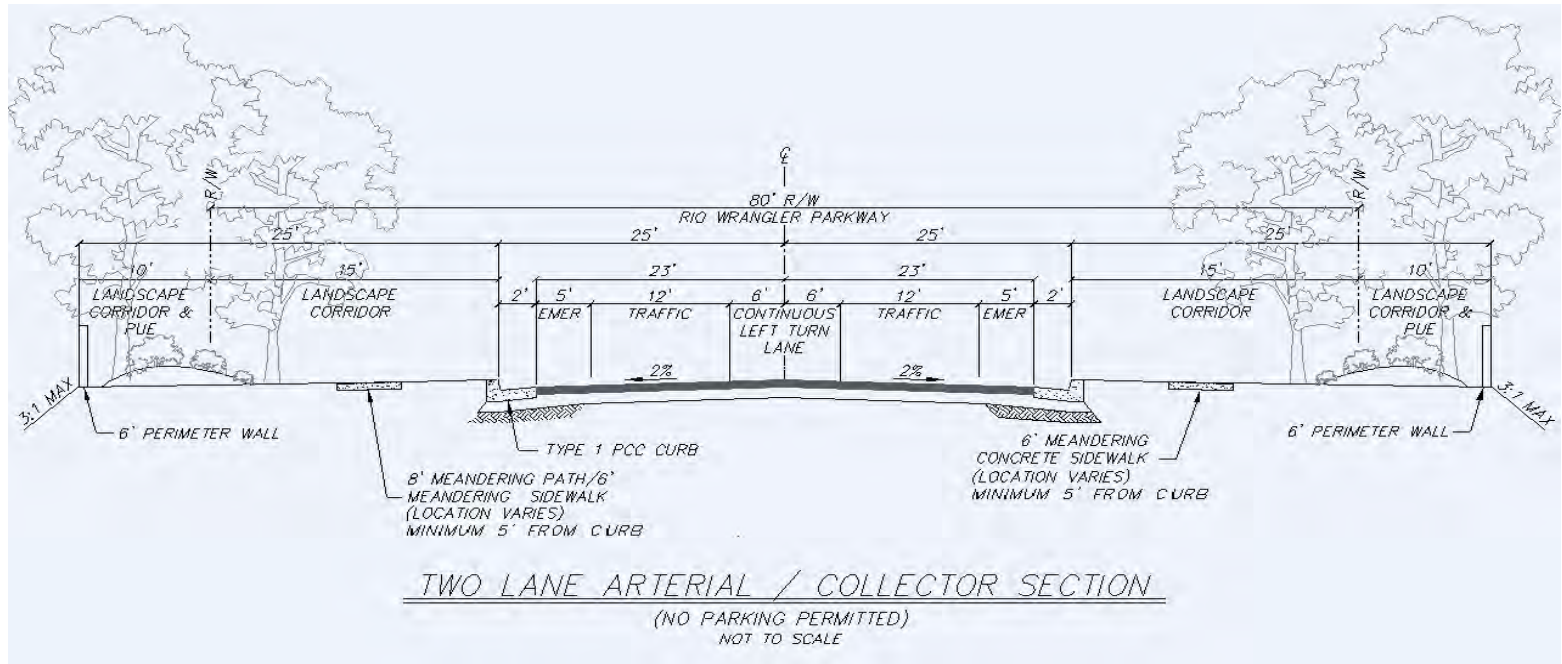
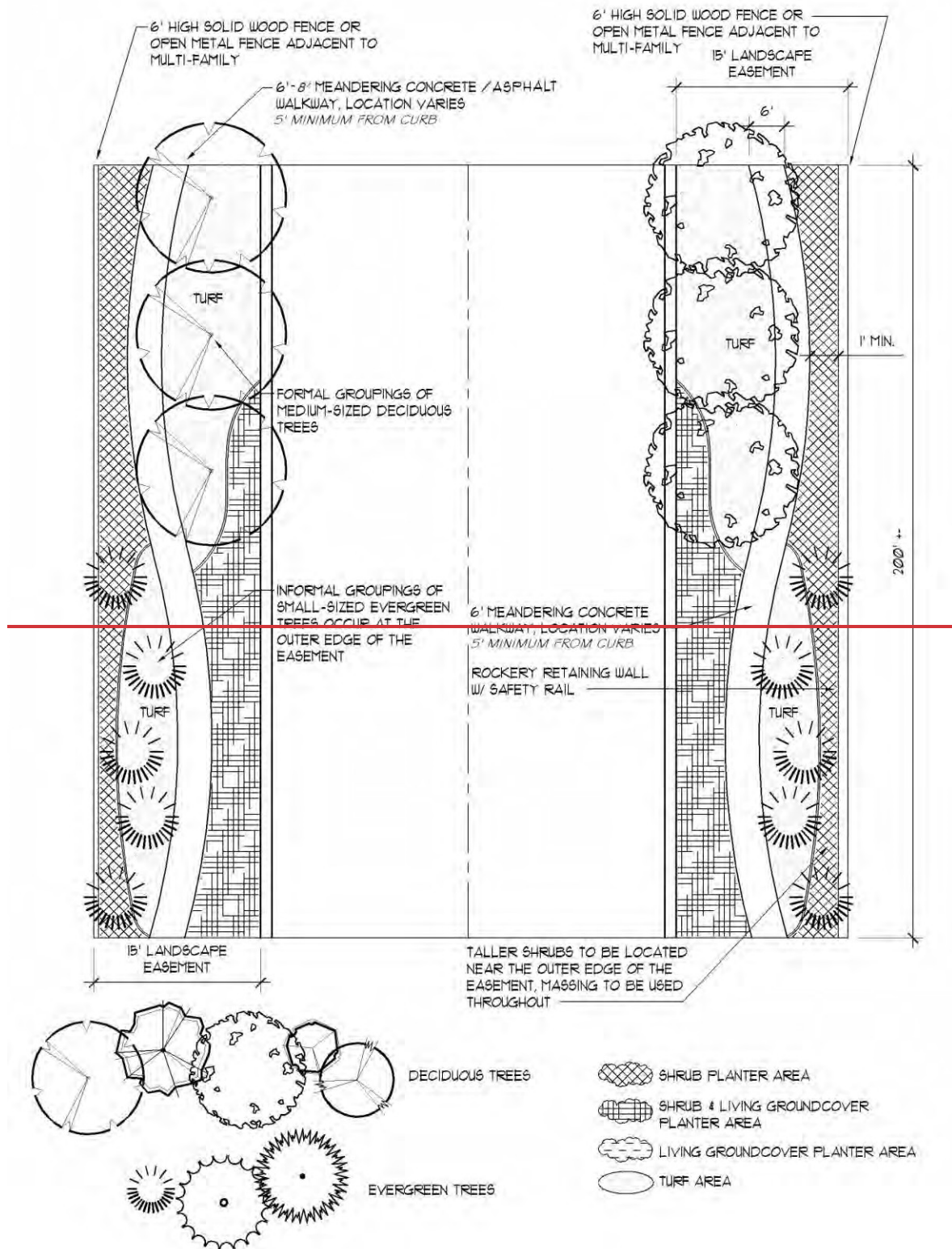


FIGURE 14
Arterial/Collector Street Section—Southern ± 1300 feet of Rio Wrangler



NOTE: See Table 4 on Page 28 for Standards

FIGURE 15
Rio Wrangler Parkway Streetscape
(South ± 1300 ft to south project boundary)

~~**Rio Wrangler Parkway (south ± 1300 ft to south project boundary)**~~
~~**(± 4000 S.F. TOTAL LANDSCAPE AREA PER 200 L.F.)***~~

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Local streets are defined as any street including project entry streets, cul-de-sacs and loop streets within an individual residential village or non-residential project. Local Residential/Pedestrian and local streets may be public or private, to be determined at the time of Tentative Map or building permit submittal and approval. Local streets shall be constructed by the builders of each individual village. Village entrances will be constructed by the Master Developer or at the Master Developer's discretion, the builder of each individual village.

Alternative local street sections may be proposed during the tentative map process to accommodate unique housing types or to accommodate off street parking. Alley's may be designed in accordance with the City of Reno Public Works Design Manual.

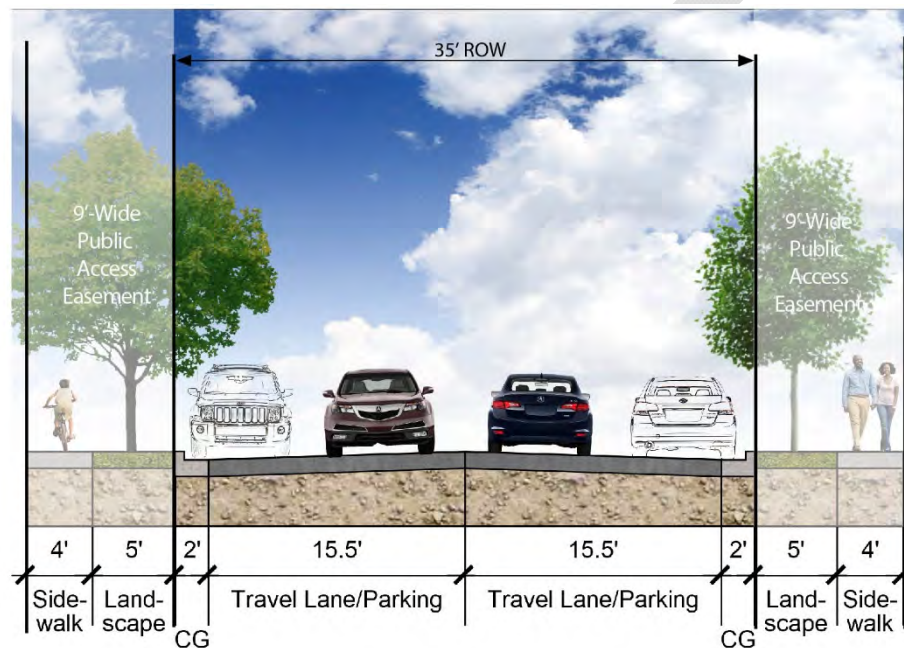


FIGURE 10A
Residential and Non-Residential Local Street (Pedestrian)

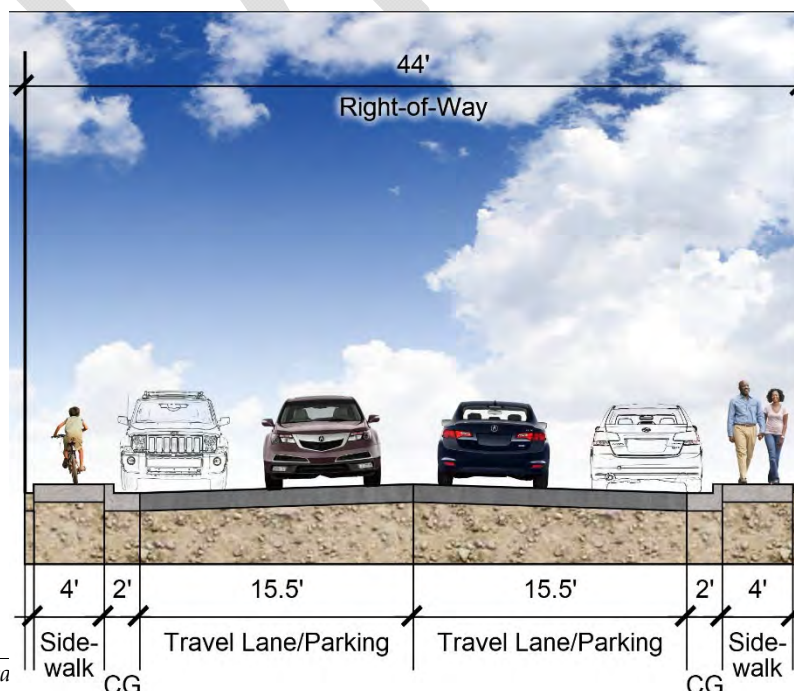


FIGURE 10B

Residential and Non-Residential Local Street

***NOTE:** Tree and plant quantities and spacing apply to each side of the street.

~~**On center planting of shrubs and living ground covers is dependent on mature size of plant materials so that plants grow together and cover the ground area. These numbers represent an average and will be adjusted dependent on the species determined by Landscape Architect and Administrator~~

j.—Street Signs

All street signs, traffic signs and directional signs that control vehicular traffic along collector streets shall be standard City signs with standard posts

k.—Utility Standards

Above-ground utility appurtenances shall be screened from public view from all streets. Screening shall be accomplished with the use of berms, walls, fences, blending colors and/or vegetation. If fences or walls are used, materials shall be consistent with arterial and collector fencing and rock veneer walls.

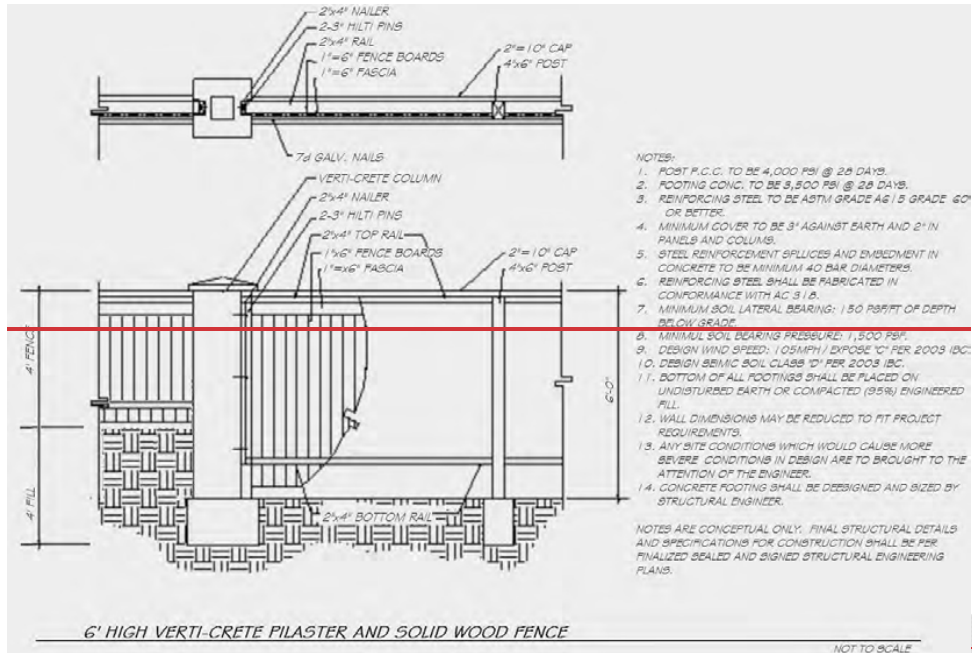
Utility buildings and structures shall be designed to fit into the architectural character of the adjacent residential community or non-residential development. Utility appurtenances and buildings shall be located in planter areas and not in turf areas, where feasible.

l.—Horizontal, Vertical and Pavement Section Design

Design of arterial roadway shall be per the City of Reno Public Works Design Manual. The exception is intersection spacing, which shall be provided at ¼ mile intervals (refer to Section II, B, page 11).

m.—Fencing

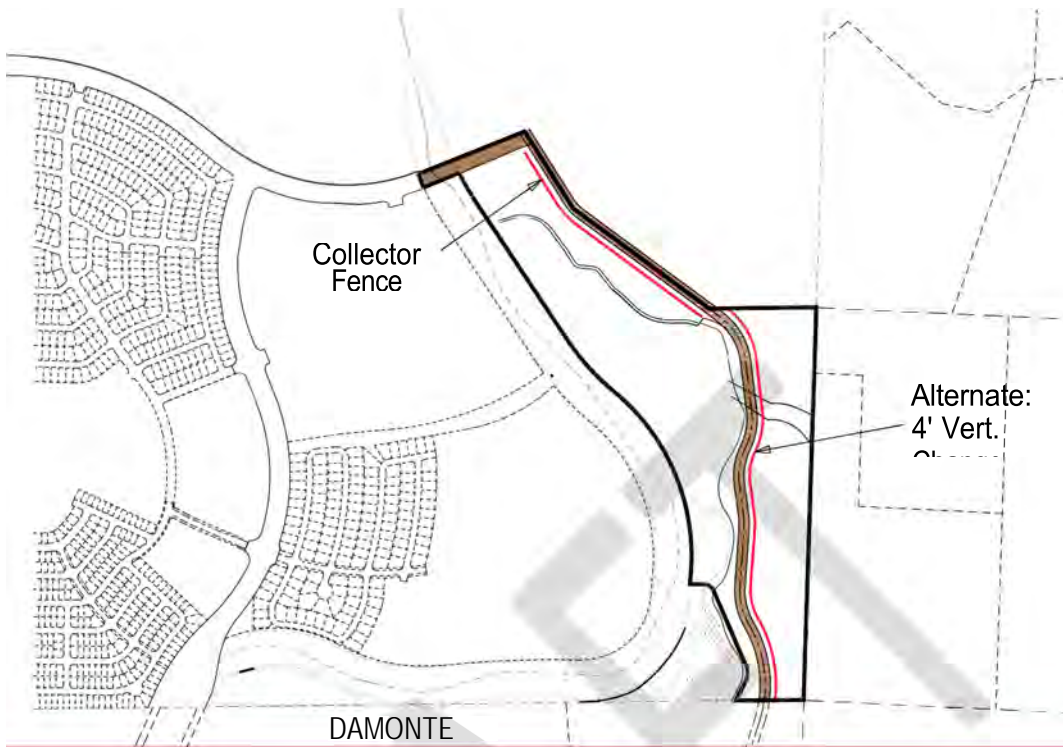
Solid fencing, six (6) feet in height shall be consistent throughout the project in accordance with **Figure 16**, page 29. When changes in elevations occur, fences shall be stepped in equal intervals, rather than sloped. Fencing along arterial/collector streets shall include pilasters, spaced at least every 80 feet.



NOTES:——1. See Figure 17, page 30, for Typical Locations. Refer to page 26, paragraph 2 c for details on location of 4 ft. height alternative.

2.——The alternative 4 foot fence section and 4 feet of vertical grade change shall include the pilasters and all other details of the standard 6 ft. fence.

FIGURE 16
Arterial/Collector Street Fence



South Meadows Parkway

Veterans Parkway

FIGURE 17
Arterial/Collector Street Fence Locations

~~3. Local Streets~~

~~Local streets are defined as any street including project entry streets, cul-de-sacs and loop streets within an individual residential village or non-residential project. Local Residential/Pedestrian and local streets may be public or private, to be determined at the time of Tentative Map or building permit submittal and approval. Local streets shall be constructed by the builders of each individual village. Village entrances will be constructed by the Master Developer or at the Master Developer's discretion, the builder of each individual village.~~

Local Street Improvements

Local public streets shall be improved with paving, curb, gutter landscaping and sidewalks as applicable in accordance with ~~Figure 10A & 10B8, page 32.~~

Alternate street sections including private street or streets with landscaped parkways may be provided by the individual builder subject to approval by the Master Developer and the City of Reno at the time of tentative map or building permit review.

Local Streets Parking and/or Direct Access

On street parking and/or direct residential driveway access within villages is permitted.

Local Street Sidewalk Connections

Sidewalks within villages for all projects shall be connected to sidewalks along arterial streets, collector streets and sidewalk trails within access easements to open space paths, as appropriate. ~~The major drainageway corridor trail will cross Rio Wrangler as noted in Figure 26, page 45. The City of Reno shall approve all connections with each tentative map or building permit submittal. A safe route to school for residential projects shall be approved by the City of Reno prior to approval of each final map or issuance of a building permit.~~

Local Street Fencing

Fencing adjacent to local residential/pedestrian and local streets shall comply with requirements outlined under Arterial/Collector street fencing as specified in ~~Section III A 2, h, page 29 (Figure 11 6)~~ of this PUD.

Local Street Signs

All street signs, traffic signs and directional signs that control vehicular traffic along local streets shall be standard ~~c~~City signs with standard posts.

Intersection Treatment

~~Intersections of local streets shall not require special treatment. Only project entries illustrated in Figure 20, Page 34 shall require special treatment.~~

Local Street Landscape/Streetscape

~~5. Landscape will be designed in accordance with Reno Municipal Code Sections 18.04.801 through 809, as amended.~~

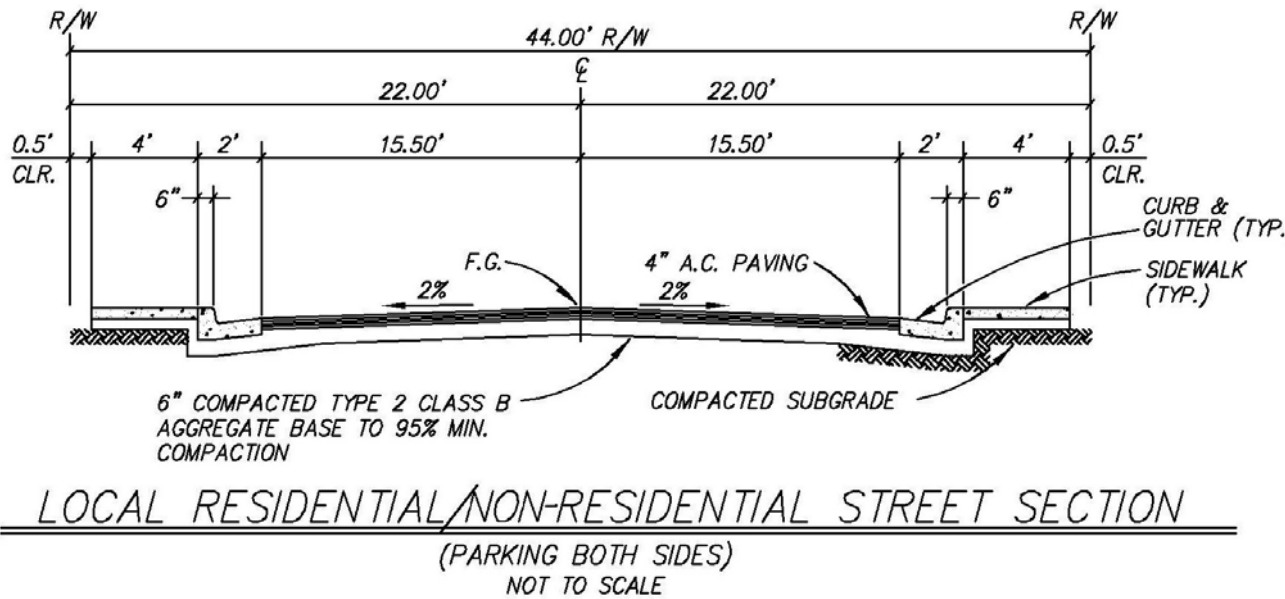
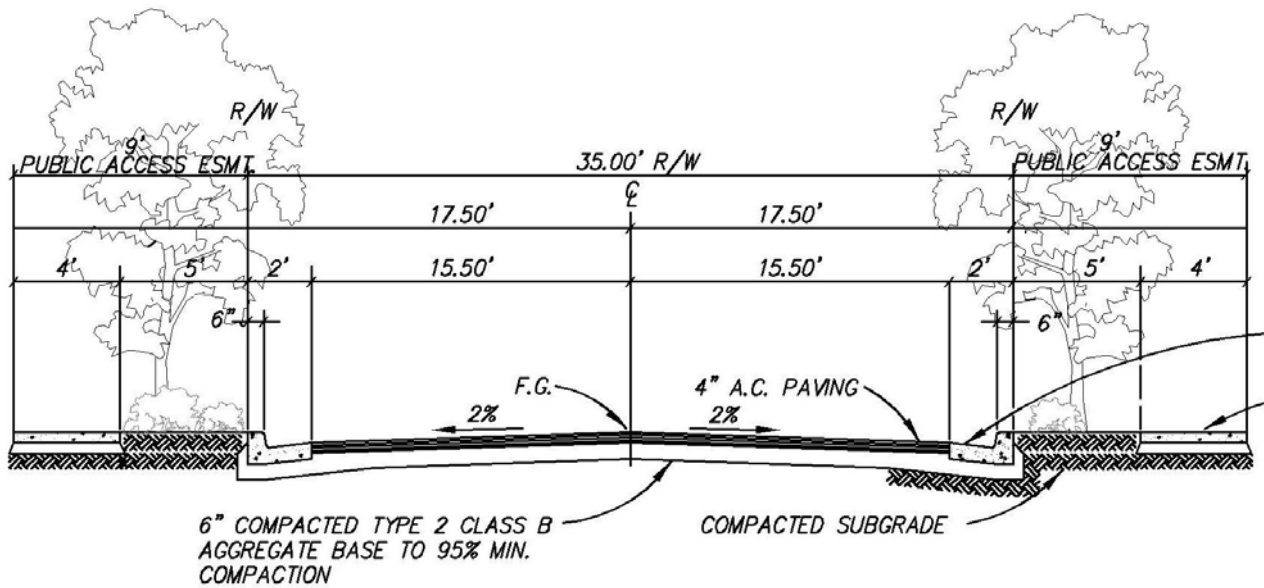
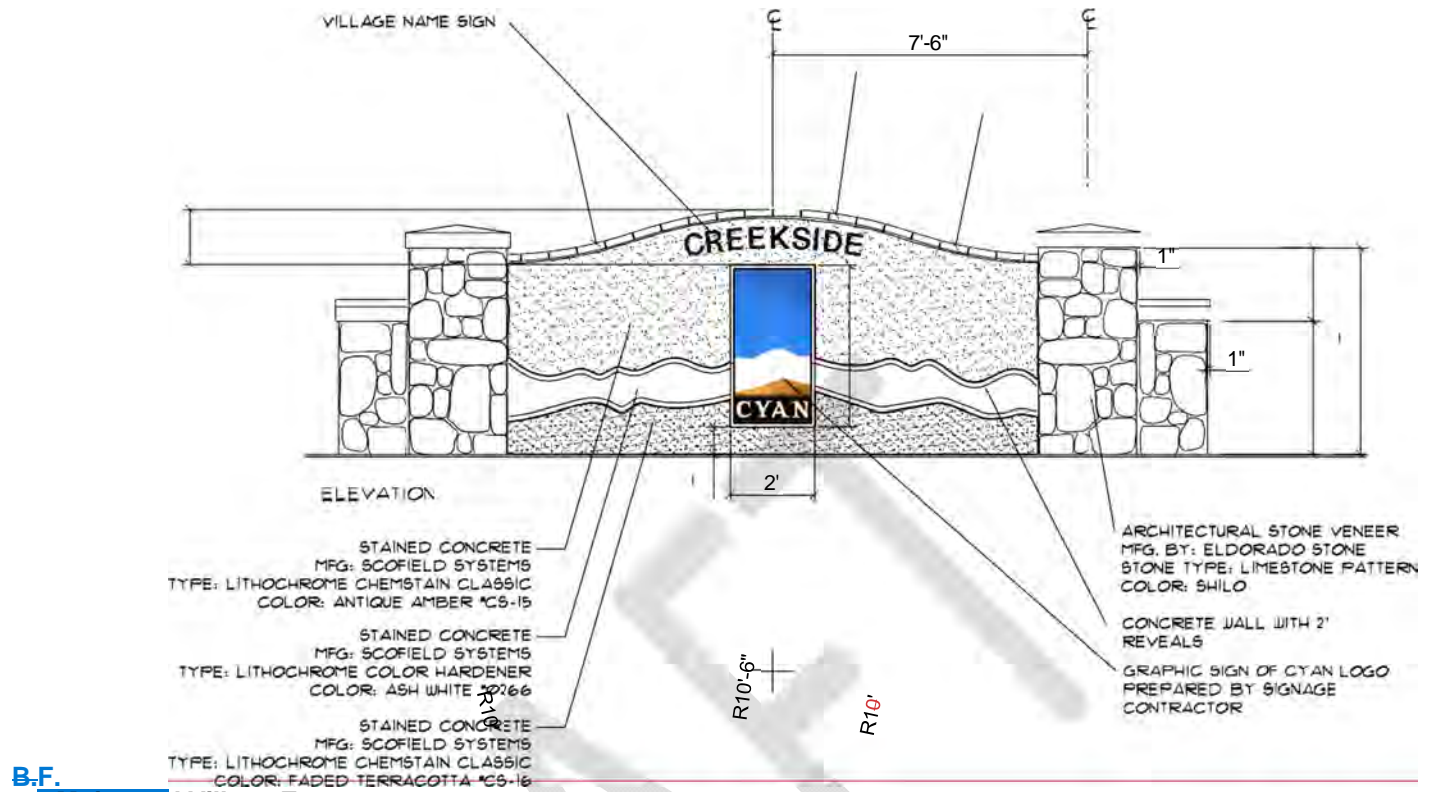


FIGURE 18

Residential and Non-Residential Local Street Sections



B.F.

Major and Village Entrances

Entry monuments and sidewalks (refer to **Figure 19**, page 33) shall be provided on both sides of every arterial and collector for each major and village or project entrance street refer to **Figure 20**, page 34 for locations. The size and configuration of the entrance area requirements are specified in **Figure 21**, page 35 and **Figure 22**, page 36. (refer to **Table 6**, page 37 for design standards)

The Developer will be responsible for construction of the major and village entrances. The BVROA will ultimately be responsible for the maintenance of the major and village entrances. The individual villages will utilize entrance concepts that include monumentation signs, lighting, fencing, and landscaping. If a private gated entrance is desired, builders must submit specific plans for median modifications and gates to the City of Reno for review and approval with each tentative map or building permit as applicable.

Additional details regarding signs, lighting, landscaping, and fencing are outlined below:

Signs

Each sign may include the name of the individual village and the master project name and logo. Builder names may not be listed on the signs. All signs shall meet the requirements of RMC Chapter 18.05 as amended.

Lighting

Entrance signs may be lighted with ground mounted direct lighting sources. No internal illumination of signs shall be permitted.

Landscaping

All major and village entrances shall be enhanced with irrigated landscaping in accordance with Reno Municipal Code Sections 18.04.801 through 809, as amended.

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FIGURE 19
Major and Village Entry Monument Concept

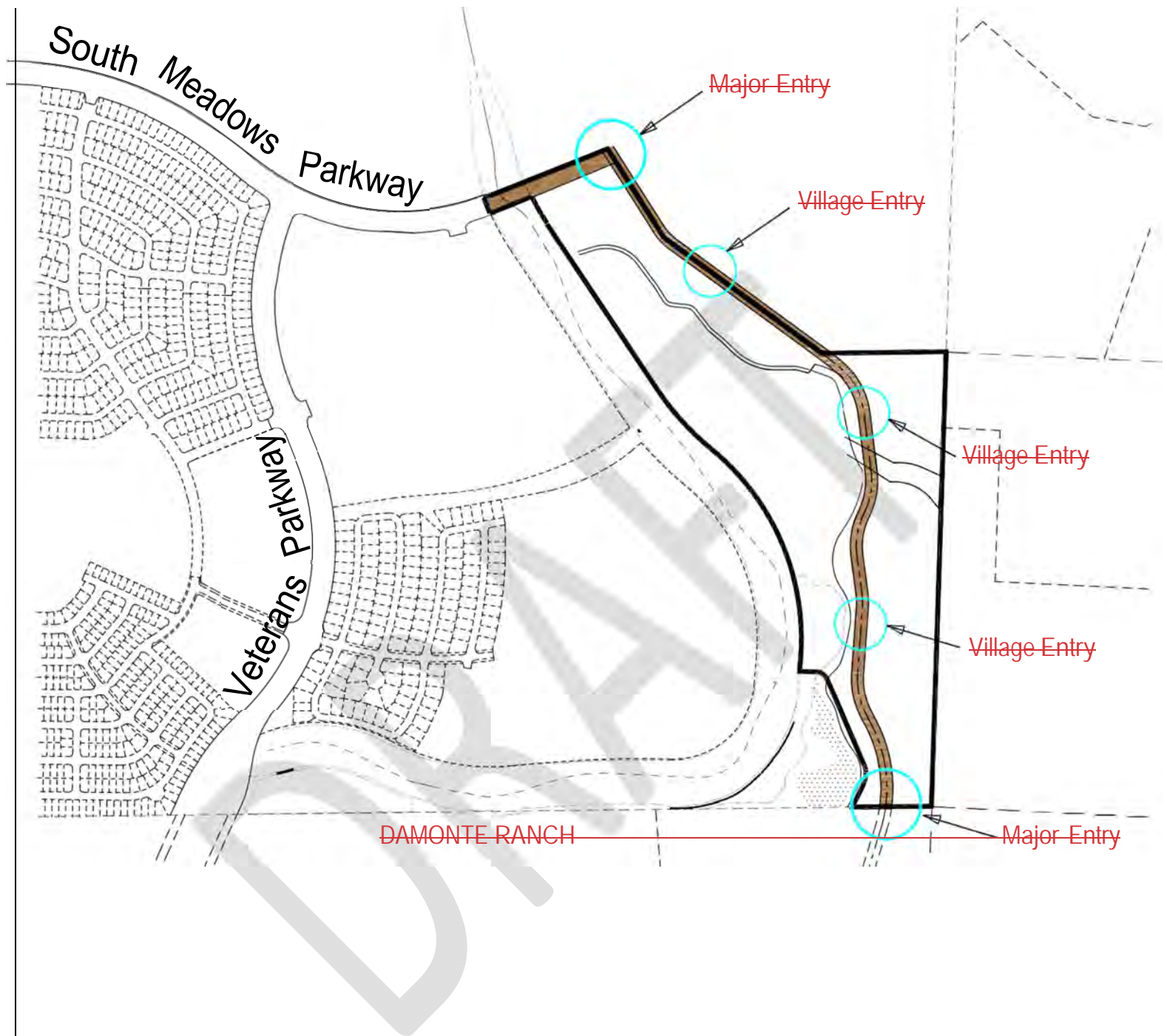


FIGURE 20
Major and Village Project Entry Locations

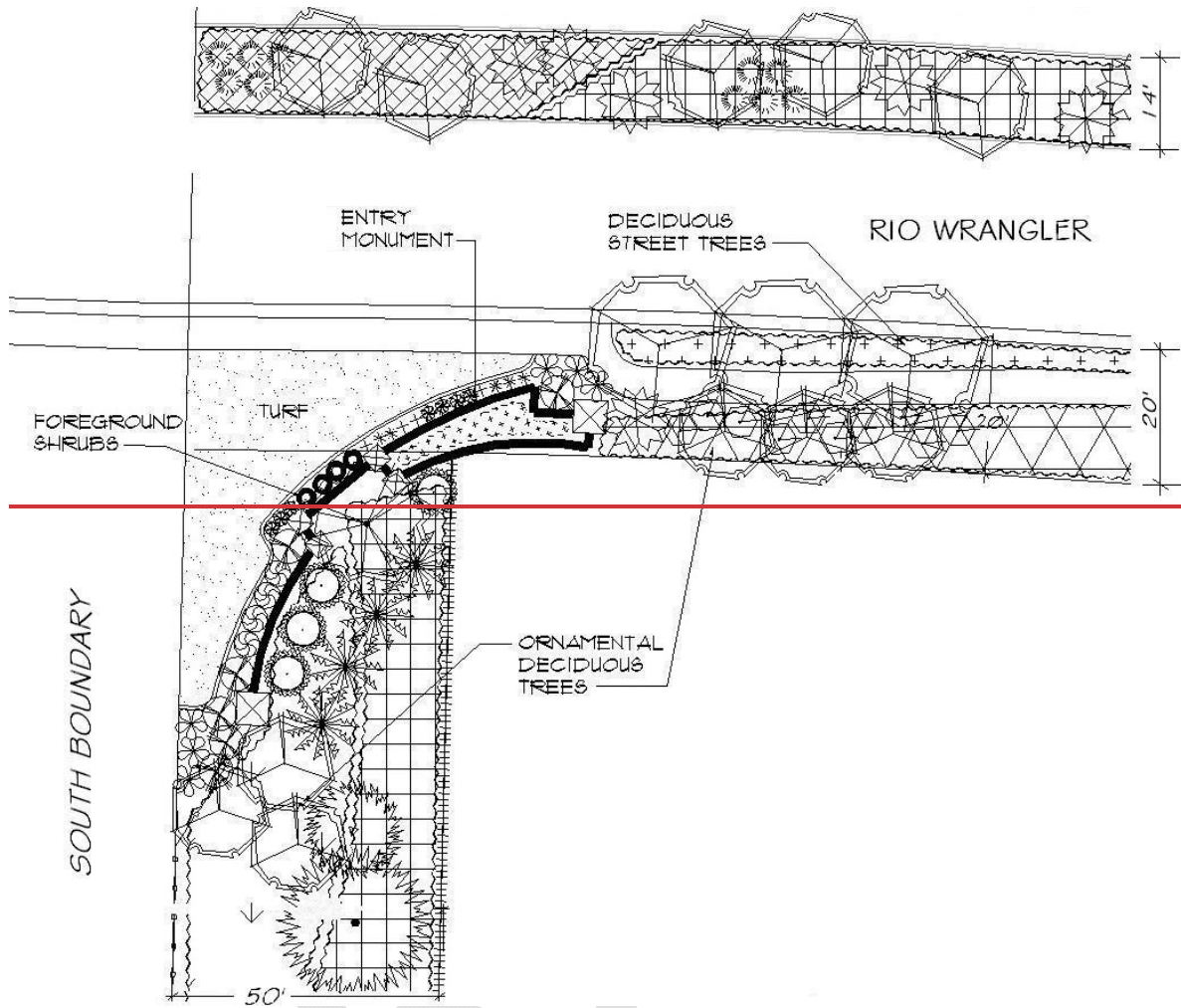
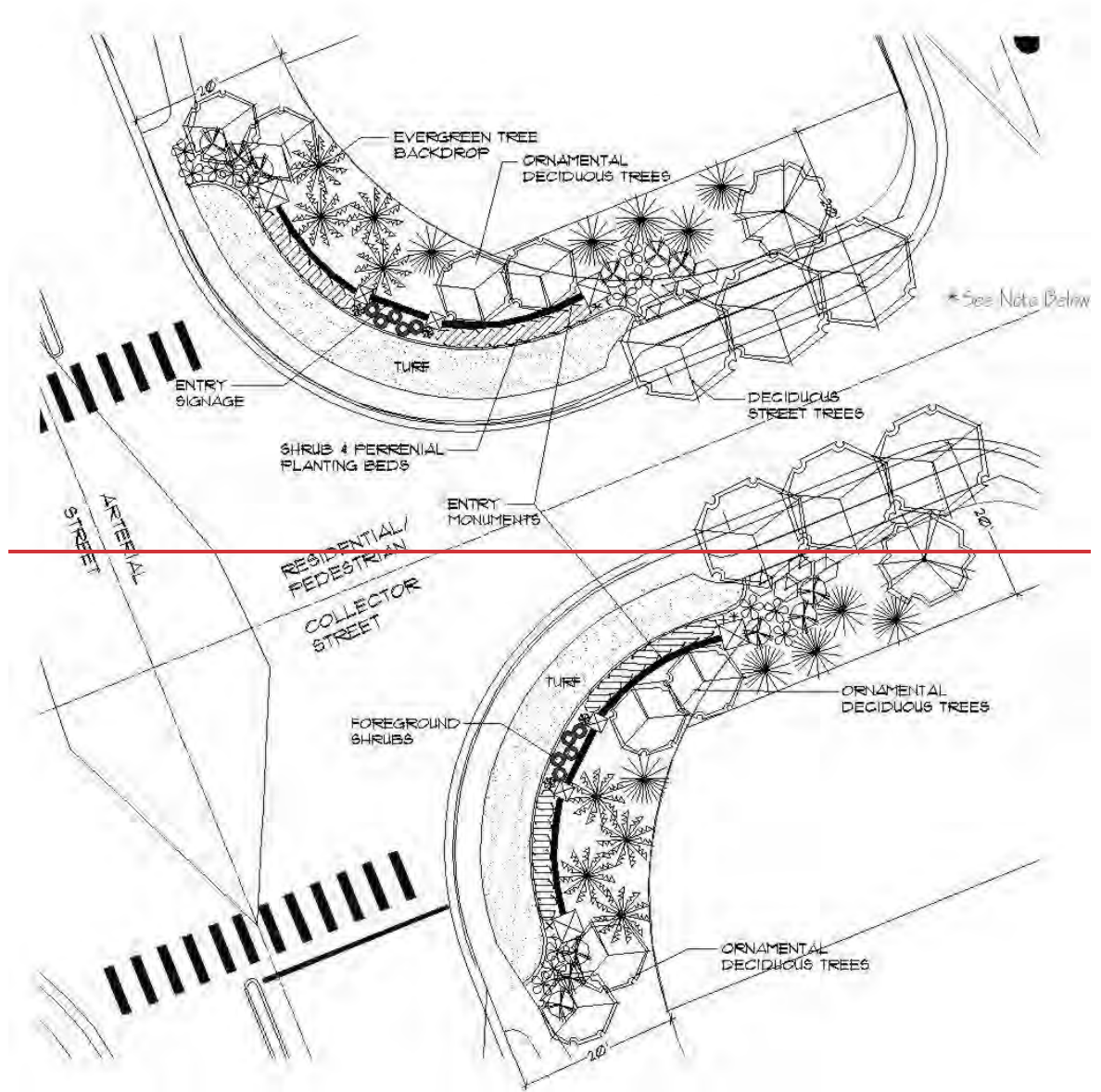


FIGURE 21
Major Entry Monument Detail

See **Tables 2 & 3** on page 23, for landscape requirements and **Figure 11** on page 22 and **Table 5** on page 37 for landscape easement widths and requirements for materials.



NOTE: After first intersection landscape corridor is reduced to 15'. Refer to **Figures 11 and 15** on pages 22 and 27 for easement widths on Rio Wrangler and refer to **Table 5** on page 37 for landscaping requirements

FIGURE 22
Village Entry Monument Detail

~~The Developer will be responsible for construction of the major and village entrances. The BVROA will ultimately be responsible for the maintenance of the major and village entrances. The individual villages will utilize entrance concepts that include monumentation signs, lighting, fencing and landscaping. If a private gated entrance is desired, builders must submit specific plans for median modifications and gates to the City of Reno for review and approval with each tentative map, or building permit as applicable.~~

~~The types, sizes and minimum number of trees and shrubs required, as well as sign dimensions are shown in the project entry monument details illustrated on **Figures 21 and 22**, pages 35 and 36. The entry monument concept is illustrated on **Figure 19**, page 33 and **Table 5** below provides minimum landscape requirements. Additional details regarding signs, lighting, landscaping and fencing are outlined below;~~

~~b. Signs~~

~~Each sign may include the name of the individual village and shall include the master project name and logo. Refer to **Figure 19**, page 33. Builder names may not be listed on the signs.~~

~~c. Lighting~~

~~Entrance signs may be lighted with ground mounted direct lighting sources. No internal illumination of signs shall be permitted.~~

~~d. Landscaping~~

~~All major and village entrances shall be enhanced with irrigated landscaping in accordance with the entry monument details illustrated on **Figures 21 & 22**, pages 35 & 36. Plant materials, quantities and minimum sizes at the time of installation shall be per **Table 5**.~~

TABLE 5 Major and Village Entry Monument Area MINIMUM LANDSCAPING REQUIREMENTS PER 1,000 SQ> FT. of AREA			
Plant Materials	Quantity *	Plant Size	Caliper Size (min.)
Turf	50% max cover	Sod	N/A
Shrubs	40	5-gallon	N/A
Living Groundcover or Additional shrubs	50% min. cover	4-gallon	N/A
Deciduous Trees	2	B&B or Box	2 ½"
Evergreen Trees	2	6-10 ft height	1 at 6' 1 at 10'

~~* NOTE: Tree and plant quantities and spacing apply to each side of the street.~~

~~**C. Fencing**~~

~~Solid fencing, six (6) feet in height located along entrance streets shall be consistent throughout the entire Bella Vista Ranch Phase II PUD in accordance with **Figure 16**, page 29. When changes in elevations occur, fences shall be stepped in equal intervals, rather than sloped.~~

D. Street Signs

- ~~All street signs, traffic signs and directional signs that control vehicular traffic within villages shall be standard City signs with standard posts. Alternative posts, if used, must be consistent throughout each village, approved by the city and shall be maintained by the Owner's Association.~~

E.G. Open Space and Public Park Design Standards

Open Space

Open space includes the Wetlands Consolidation Corridor, major drainageway, parks, pathways, trail access parcels to open space and other open space land that is not developed with roadways, or located on individual lots within the residential or non-residential portion of this PUD. Common open space, including the park and trails, shall be open and available for use by the general public ~~(unless located in a private gated community)~~. These facilities shall be maintained by ~~the Bella Vista Ranch Owner~~ Association ~~(BVROA)~~ or the ~~Bella Vista Ranch~~Cyan Drainage District ~~(C(BVRDD))~~.

1. Public Park

The public park will be designed to the approval of the City of Reno and constructed by the project Developer or the City of Reno. The Developer shall not receive credit towards the Residential Construction Tax (park fees) to construct the park. The park will not be dedicated to the City of Reno. The park will be approximately 4.4± acres in size and will be located in the south-central portion of the Bella Vista II PUD (refer to Figure 7).

All Residential Construction Tax fees collected from this project shall be used to ~~construct~~improve the park in the Bella Vista Ranch PUD (Cyan Park) located to the west of this project, which is located within the same Park District. ~~The park will be approximately 4.4± acres in size and will be located in the south-central portion of the site (refer to Figure 2, page 2).~~

I. Facilities

I.

A minimum of three (3) of the following facilities will be constructed within approximately 3.0 acres of the park:

- Picnic Areas (to include tables and benches)
- Par Course (exercise equipment)
- Play Structure
- Horseshoes or similar amenities of scale (as approved by the administrator)
- Turf Open Play Areas (maximum of 1 acre in size)
- Trail Head/Parking Area along a public street

The following facilities will be constructed in the remaining portion of the park:

- Trails
- Native vegetation and existing un-disturbed vegetation
- Seating/viewing areas

II. Timing and Implementation

Provide plans for construction of the park to the City, including the above amenities, with application for the first residential building permit. Complete construction of the park improvements within one year of the date of City approval of the park construction plans. The applicant may request one, 1 year time extension (2 total years) to complete the park improvements without amending the PUD.

III. Fencing

III.

Fencing associated with the park, may be provided adjacent to or within the park. The following

area or activity delineation fencing shall be provided:

- 1) Split rail fencing as depicted in **Figure 124A**, ~~page 41~~.
- ~~2)~~ Vinyl coated brown chain link fencing associated with sports fields or courts.

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~~2)~~

~~3) Rockery walls and/or rock veneer walls consistent with the streetscape walls, as depicted in **Figure 23**, page 40.~~

~~IV. Landscaping~~

~~V.~~

~~IV. Landscape~~

The park will be landscaped and irrigated in accordance with Reno Municipal Code Sections 18.04.801 through 809, as amended, as appropriate for the planned uses as approved by the City of Reno and as determined with review of the construction plans. Evergreen massing is encouraged adjacent to residential lots.

~~VI.~~

~~VII. Lighting~~

~~VIII.V.~~

All lighting shall be approved by the City of Reno and shall utilize state of the art "dark sky lighting" techniques. Lighting in the park shall be minimized where possible but may include the following:

- 1) Parking Lot Lights – Fully shielded lighting including "shoebox" style lights shall be provided in parking lots and shall not exceed 20 feet in height.

~~IX. All lighting shall be approved by the City of Reno and shall utilize state of the art "dark sky lighting" techniques.~~

~~X.~~

~~XI. Pathways~~

~~XII.VI.~~

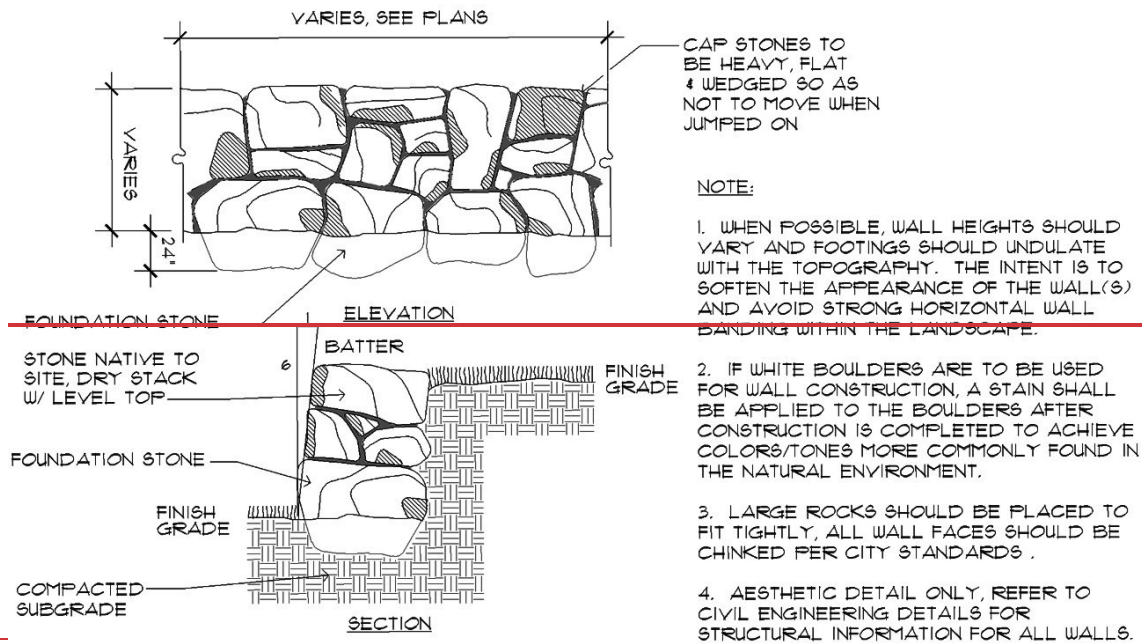
Pathways within the park shall connect to sidewalks within the individual villages, sidewalks within trail access areas, open space trail pathways and sidewalks along arterial streets as appropriate. Pathways to and from individual lots are not permitted. A pathway/sidewalk circulation and connection plan to the park shall be reviewed and approved by the city with each tentative map or building permit ~~located adjacent to the park.~~

~~XIII. Utility Standards~~

~~XIV.VII.~~

Above ground utility appurtenances shall be screened from public view. Screening shall be accomplished with the use of berms, fences, walls, blending colors, and/or vegetation.

Utility buildings and structures shall be designed to fit into the architectural character of the adjacent development. Utility appurtenances and buildings shall be located in planter areas and not in turf areas. All utilities must meet the design standards outlined in **Table 4** of this PUD.

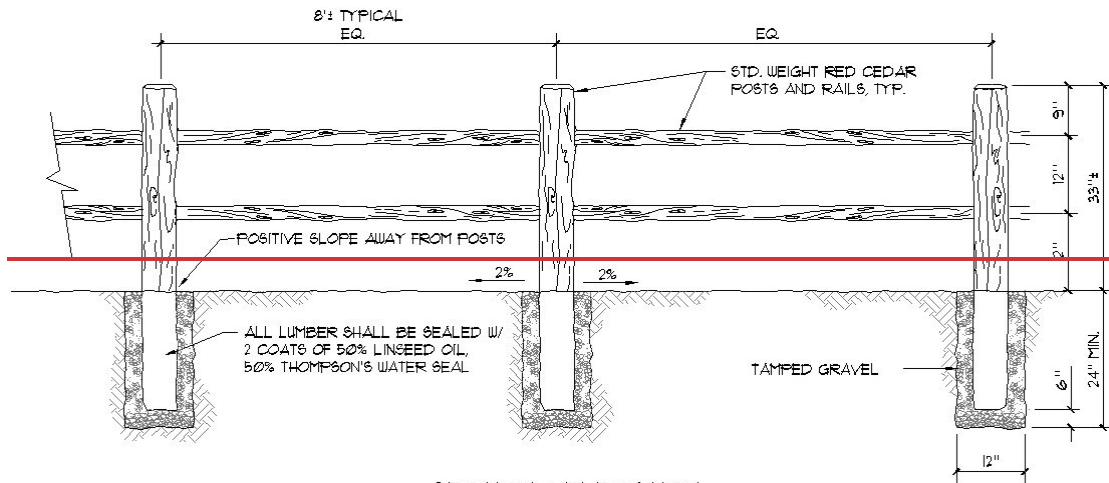


Note:

Walls in excess of 30 inches shall require a minimum 4½ foot tall open metal fence at the top of the wall (refer to Figure 24B, page 41 for open metal fence detail).

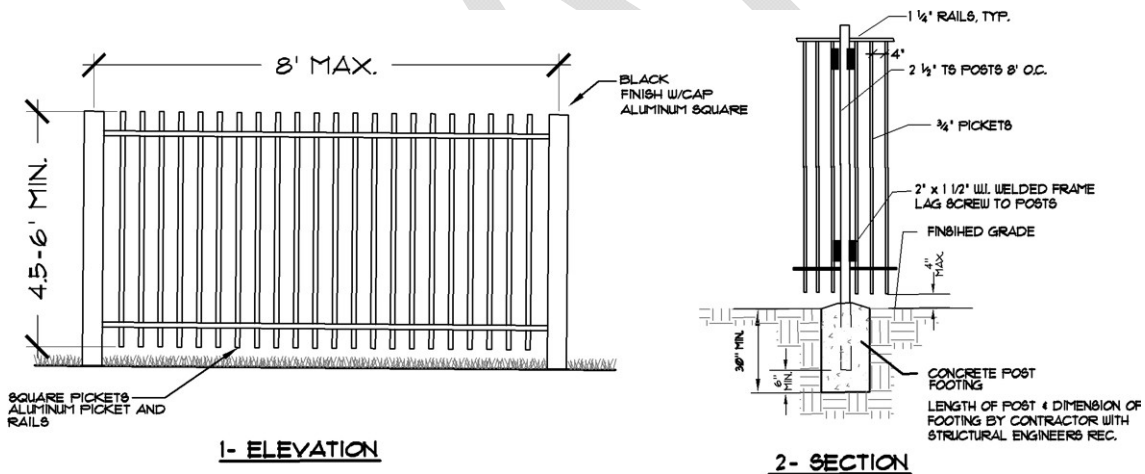
All rockery walls shall be designed and constructed in accordance with the City of Reno Rockery Wall Design and Construction Standards.

FIGURE 23
Rockery Walls



SECTION / ELEVATION

A. FIGURE 24A
A. Split Rail Fence



1- ELEVATION

2- SECTION

A. FIGURE 24B
A. Open Metal Fence
A. See Figure 25 page 42 for location

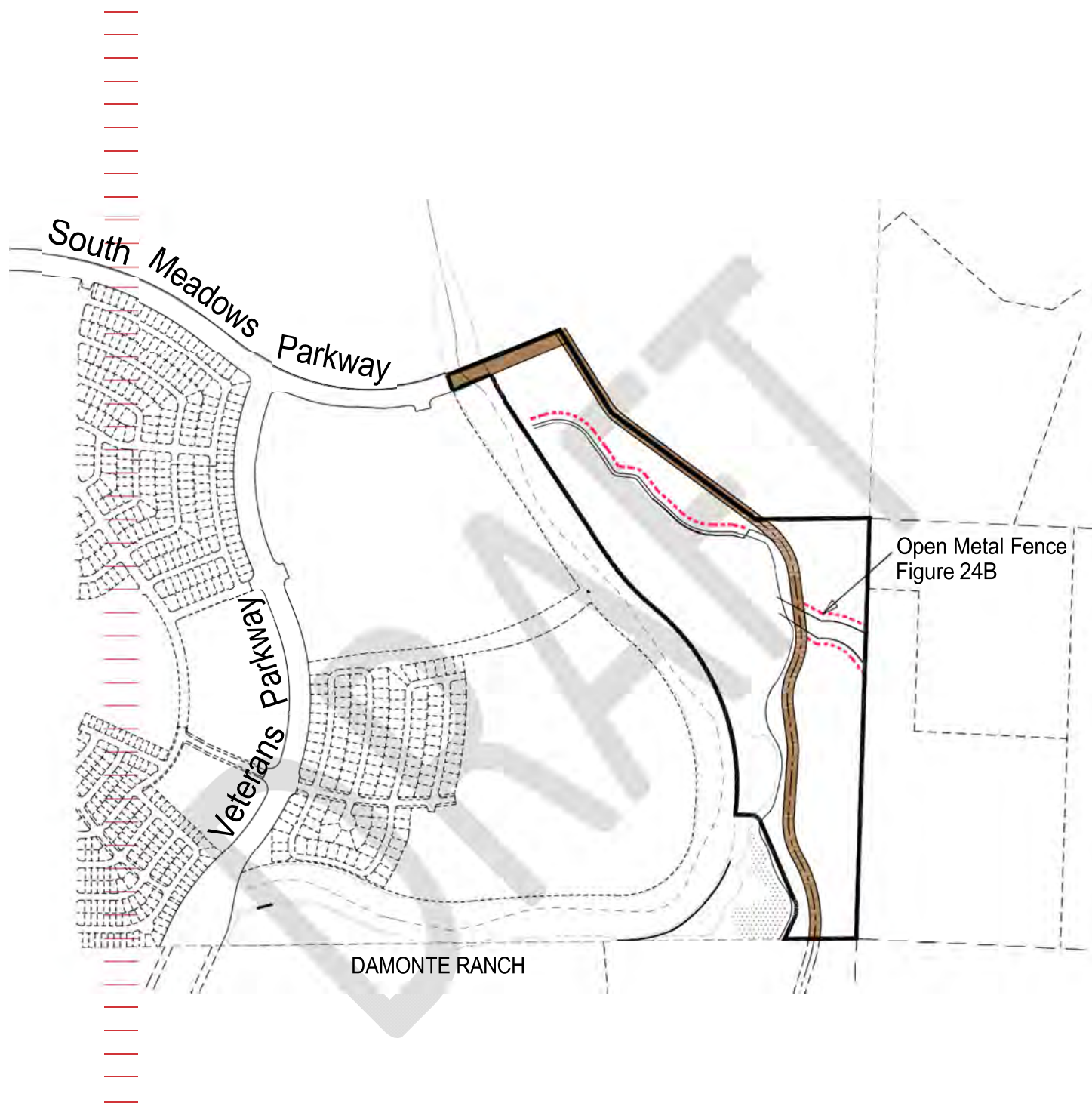


FIGURE 25

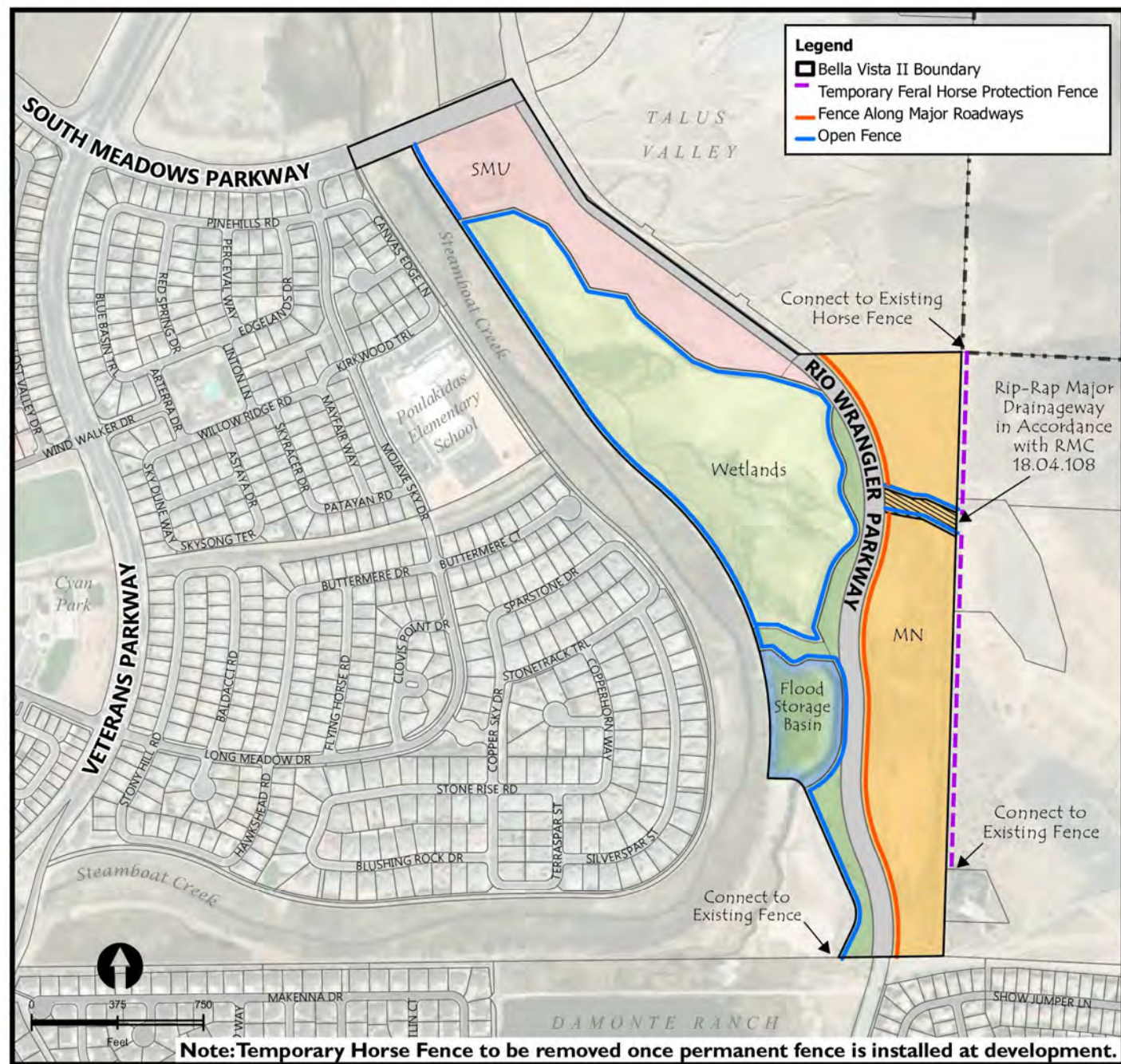
Open Metal Fencing Locations

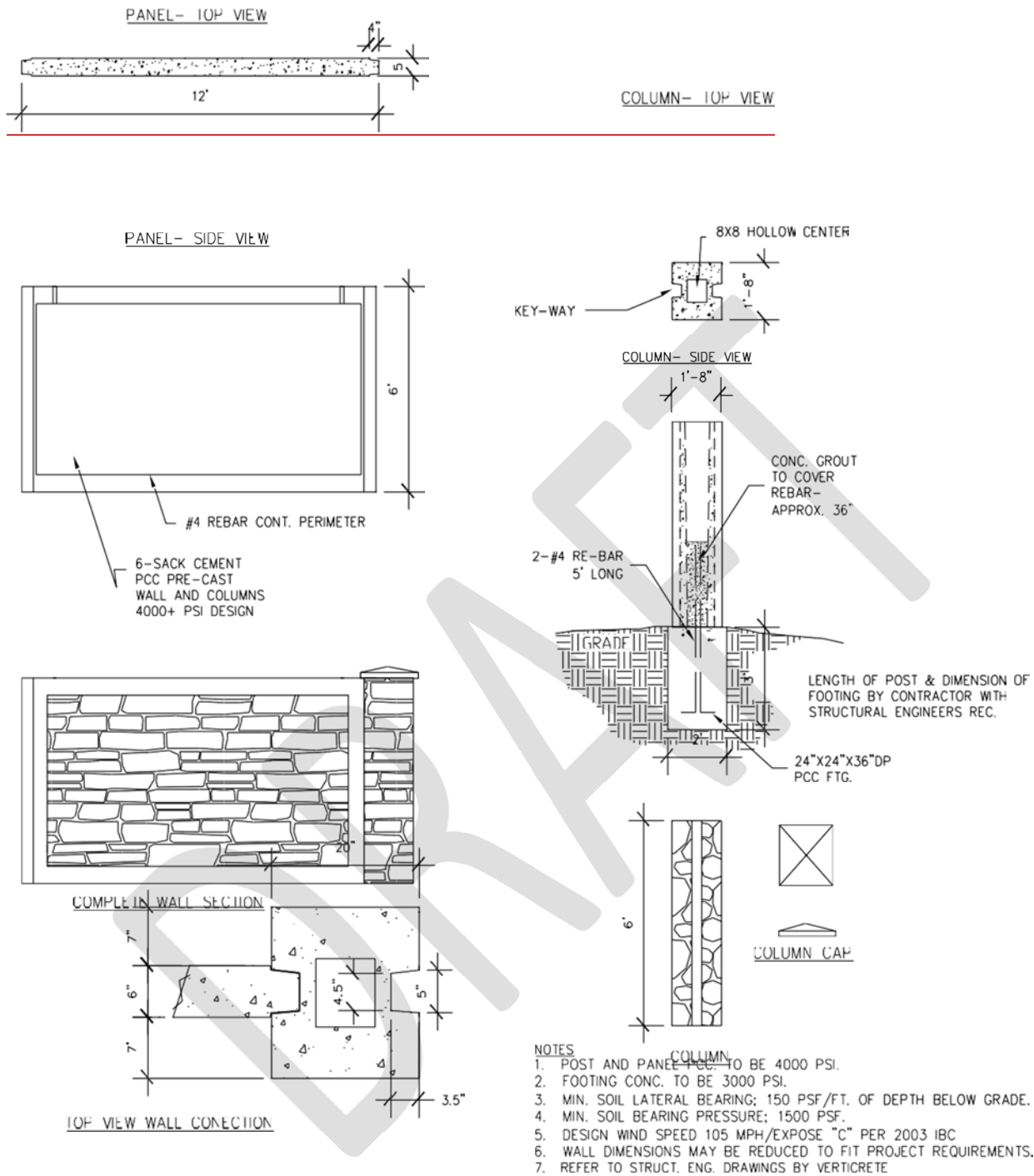
H. Fencing Plan/Design Standards

A combination of fencing types will be used throughout the Bella Vista Ranch II to provide consistency and to help protect the open space throughout the development. Furthermore, fencing/walls along the arterial and collector streets will help separate the villages and provide privacy and help to reduce traffic noise. Walls/fences along arterial/collector streets adjacent to non-residential development is not required.

The following types of fences are proposed throughout the development as depicted in **Figure 11** below:

- Masonry Sound Wall with Pilaster
- Arterial /Collector Street Fence
- Split Rail/Open Metal Fence
- Temporary Feral Horse Fence

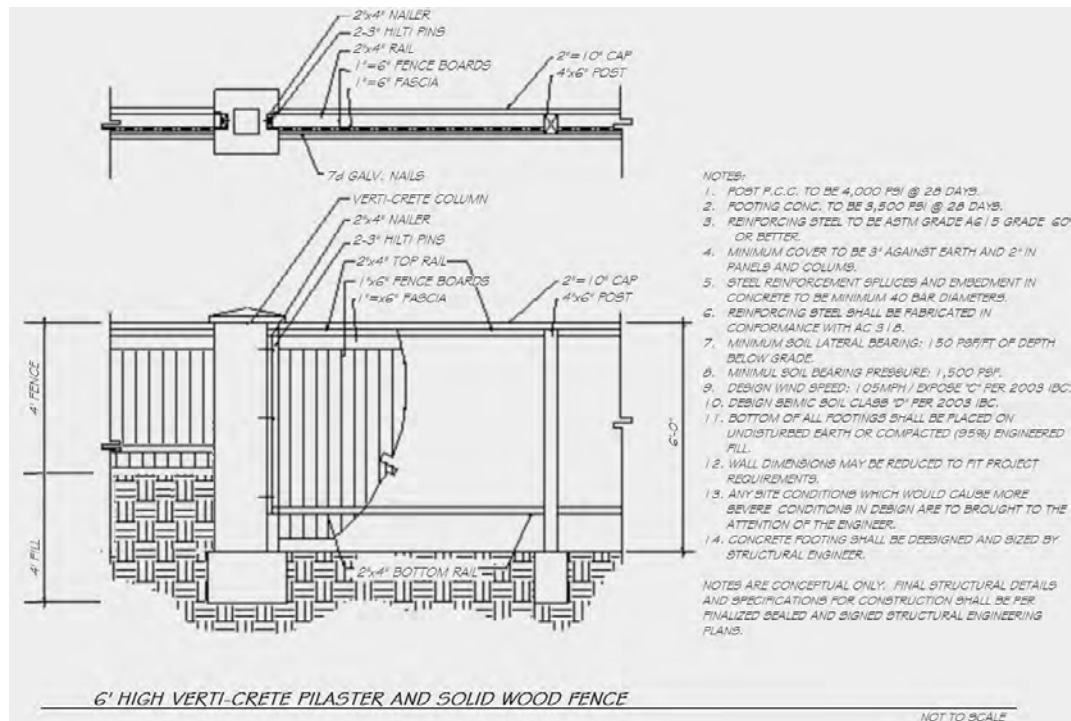




VERTI-CRETE PRE-CAST SOUNDWALL

not to scale

FIGURE 12
Masonry Sound Wall with Pilaster



NOTES:

1. See **Figure 11**, for Typical Locations.
2. The alternative 4 foot fence section and 4 feet of vertical grade change shall include the pilasters and all other details of the standard 6 ft. fence.

FIGURE 13
Arterial/Collector Street Fence

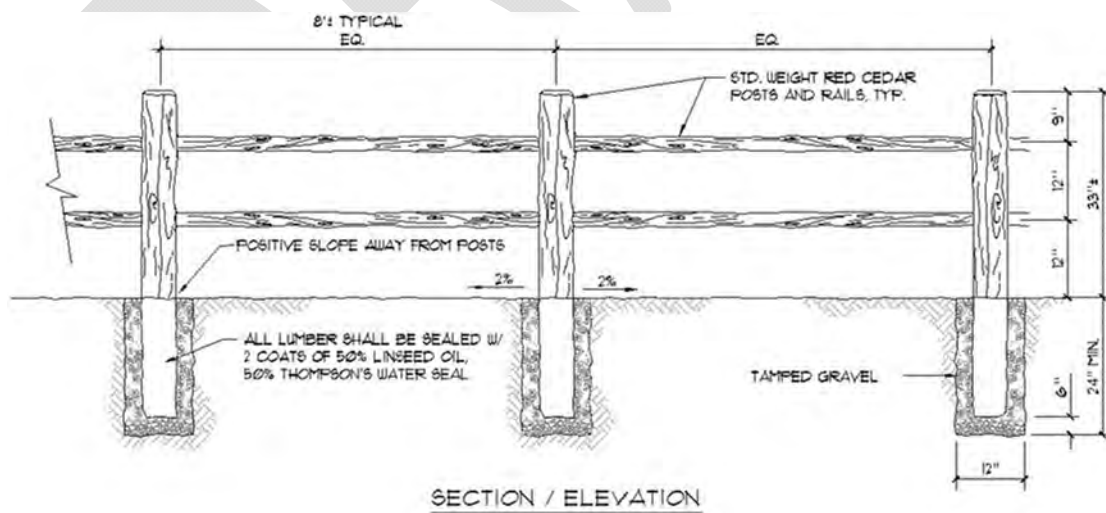


FIGURE 124A
Split Rail Fence

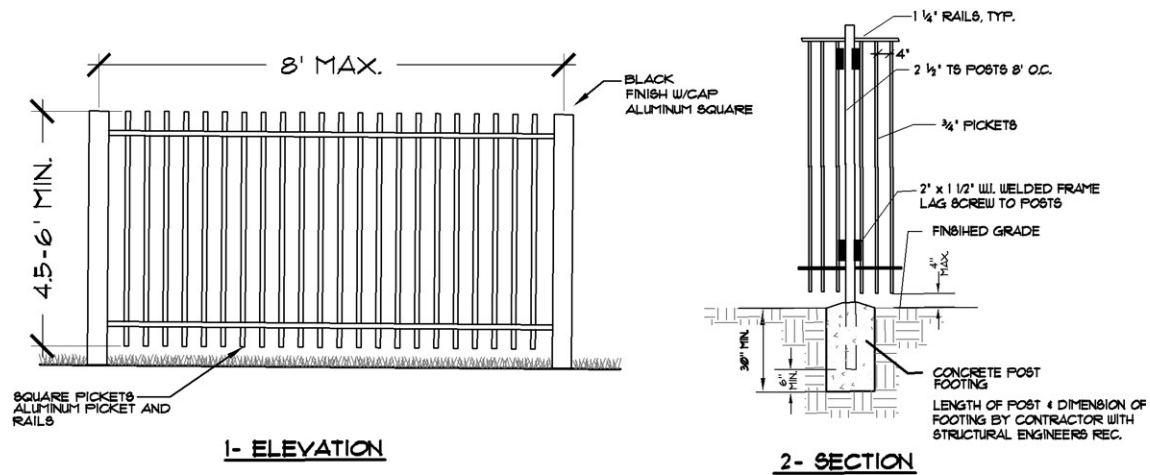


FIGURE 124B
Open Metal Fence

Open Fence types will be between the major drainageway and open space areas and residential lots shall be provided for delineation purposes throughout the project. Fencing shall consist of open metal and split rail fencing. (refer to **Figure 14A & 14B**). Open metal fencing shall be used at rear and side yards adjacent to the major drainageway and open space areas. Split rail fencing shall typically be used in front yard setbacks to delineate private lots vs. public open space areas. It will also be used along trails to provide separation from streets and wetland areas along the open space corridor, (refer to **Figure 11**).

Fencing of common open space will be associated with rear and side yards of individual lots located adjacent to open space, the major drainageway and streets. Additional fencing, may be provided by the builder of each village, if locations and fence types are approved by the City of Reno prior to the approval of the applicable tentative map or building permit.

See Figure 25 page 42 for location

F.—Major Drainageway Design Standards/Open Space (Refer to Figure 5, page 6)

I.

XV. The major drainageway has been identified as a disturbed major drainageway and will be restored per City of Reno code 18.04.104 Drainage Way Protection, as amended. For any development proposed in the MN land use designation and within the area identified in **Figure 7** as 'Major Drainageway', Fencing

Fencing located between the major drainageway and open space areas and residential lots shall be provided for delineation purposes throughout the project. Fencing shall consist of open metal and split rail fencing. (refer to Figure 24A & 24B, page 41). Open metal fencing shall be used at rear and side yards adjacent to the major drainageway and open space areas. Split rail fencing shall typically be used in front yard setbacks to delineate private lots vs. public open space areas. It will also be used along trails to provide separation from streets and wetland areas along the open space corridor. (refer to Figure 26, page 45)

XVI. Landscaping

~~Steamboat Creek Corridor wetland areas shall remain undisturbed with no landscaping provided. The Major drainageway shall be enhanced with landscaping and irrigation. Refer to Section III, B, & Table 6, page 44. Landscape improvement plans shall be submitted detailing the location/relocation plans for the entire major drainageway corridor. These shall either be submitted with the major drainage way corridor improvement plans with the first through the adjacent Tentative Map or Major Site Plan Review process non-residential building permit site improvement plans.~~

Major Drainageway Edge Treatments

~~Transitional landscaping will be utilized to blend the ornamental landscape associated with residential lots or non-residential development and the natural revegetated drainageway area. This transition area will average ten (10) feet in width along edges without a trail and eighteen (18) feet in width with a trail (Refer to Figure 11). All revegetation specifications shall be approved by the City of Reno with each adjacent Final Map or building permit.~~

Signage

Signage to discourage users from entering sensitive areas will be provided adjacent to Steamboat Creek and drainage way areas. Pedestrian oriented signs shall be compatible throughout the entire Bella Vista Ranch PUD. The signage plans shall be submitted for approval to City Parks staff, prior to approval of the first Final Subdivision Map or issuance of building permit.

Major Drainageway Edge Treatments

~~Transitional landscaping will be utilized to blend the ornamental landscape associated with residential lots or non-residential development and the natural re-vegetated drainageway area. This transition area will average ten (10) feet in width along edges without a trail and eighteen (18) feet in width with a trail (Refer to Figure 26, page 45). Table 6 page 44 sets the standards for these areas and all re-vegetation specifications shall be approved by the City of Reno with each adjacent Final Map or building permit.~~

~~XVII.~~ Utility Standards

~~Above ground utility appurtenances shall be screened from public view. Screening shall be accomplished with the use of berms, fences, walls, blending colors, and/or vegetation. If fences or walls are used, materials shall be consistent with nearby fences and rockery walls.~~

~~Utility buildings and structures shall be designed to fit into the architectural character of the adjacent residential or non-residential development as applicable. Utility appurtenances and buildings shall be located in planter areas and not in turf areas, where feasible.~~

Site furnishings such as benches and trash receptacles will be placed along the pathway areas every 1,000 feet along channels, subject to approval by the City of Reno with each Final Map or non-residential building permit as applicable.

Common open space includes land located within the linear open space corridor and/or drainage way areas, and adjacent to residential lots or streets. An open space trail network is provided within the project and is shown on **Figure 68, page 14**.

~~Fencing of common open space will be associated with rear and side yards of individual lots located adjacent to open space, the major drainageway and streets. Additional fencing, may be provided by the builder of each village, if locations and fence types are approved by the City of Reno prior to the approval of the applicable tentative map or building permit.~~

Landscaping and irrigation shall be provided on common open space that is located between residential lots and streets or adjacent to the major drainageway and other open space areas. Landscaping within these defined areas shall be provided by the builder of each village that abuts common open space in accordance ~~with Reno Municipal Code Sections 18.04.801 through 809, as amended—Figure 26, page 45. Table 6 below specifies the minimum landscape requirements for common open space areas.~~

~~Common Area Ornamental Landscape Development Minimum Landscaping Requirements
per 1,000 sq. ft. of Area~~

Catipere Size Height	Plant Size	Quantity	Plant Material
(

Hand
shakes
Dedicated
Trees
Tree
Tree

Box

4

6
ft
height

6
ft

4

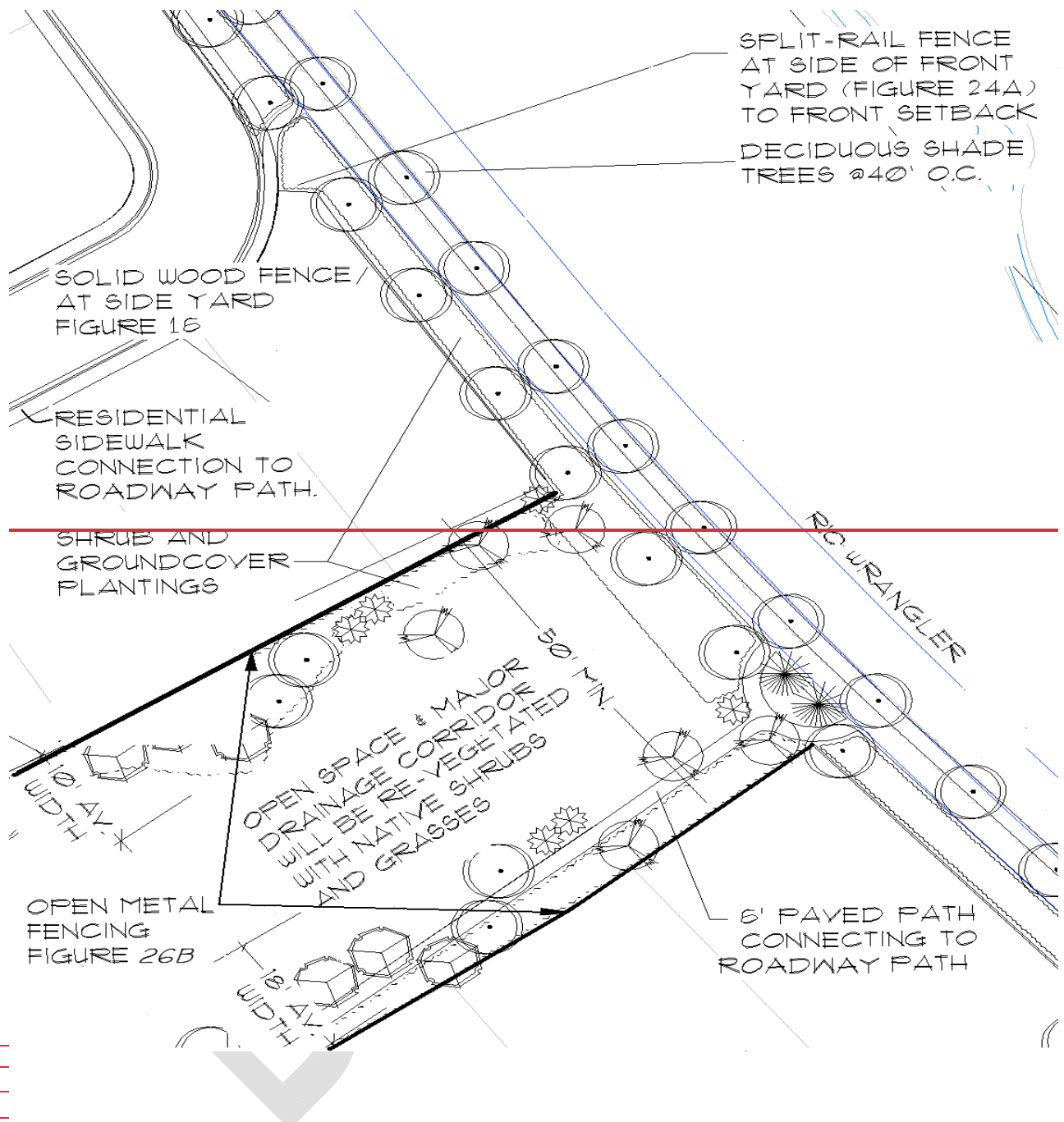
4
ft
height

1
ft

Pathways and Trails

Pathways adjacent to the major drainage way and along Steamboat Creek shall be asphalt, a minimum 8 feet in width (refer to **Figure 68**, ~~page 14~~). Pathways will be constructed by the Master Developer or at the Master Developer's discretion, the builder of each abutting village. Village builders shall ensure that pathways connect to sidewalks within the individual villages; pathways within trail access areas; and sidewalks along arterials and residential collector streets, as appropriate. Construction plans for pathway connections to villages shall be provided with the adjacent Final Map or building permit as applicable.

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NOTE: Refer to Table 6, Page 44 for Standards

FIGURE 26

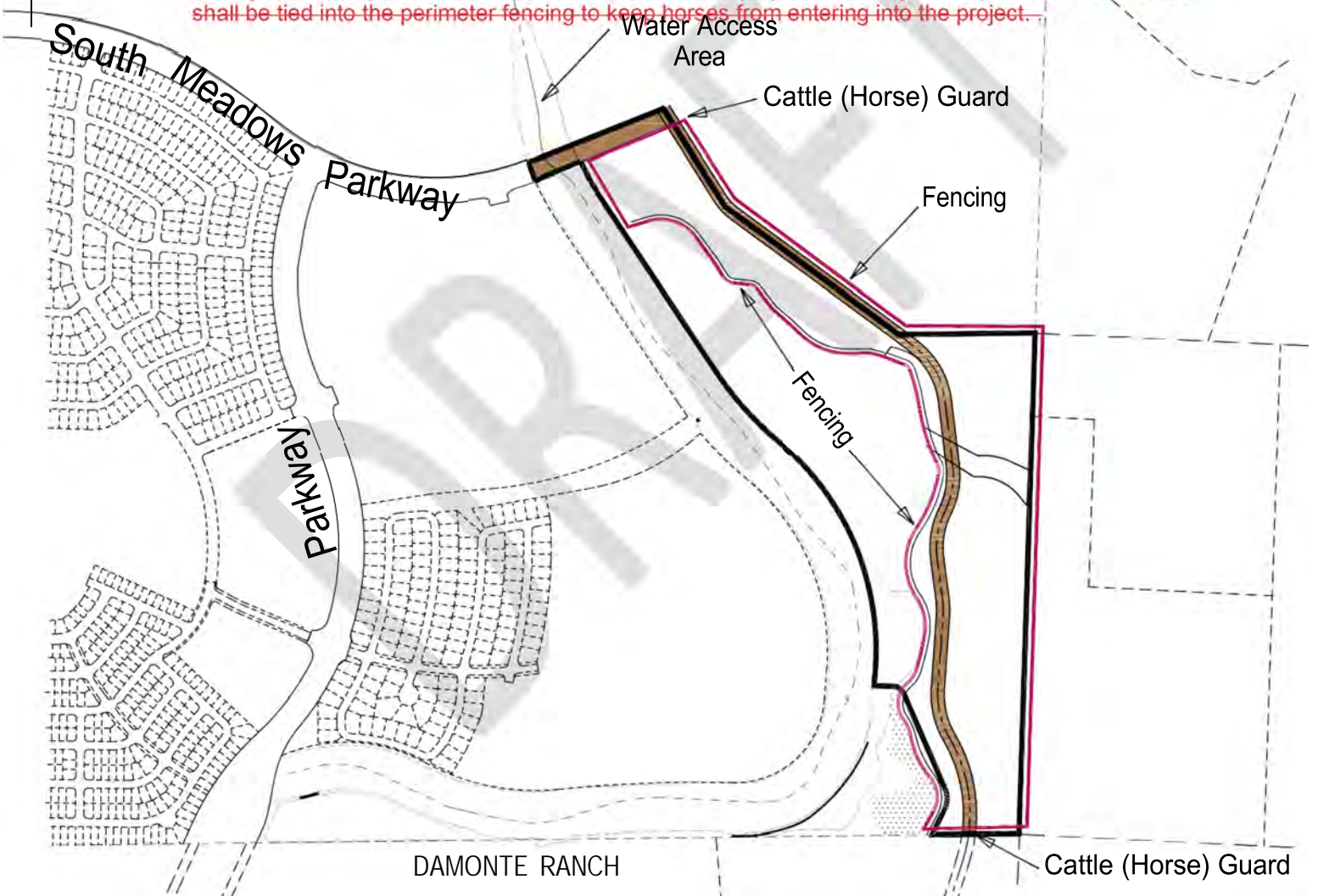
Open Space & Major Drainageway Landscape Edge Treatment

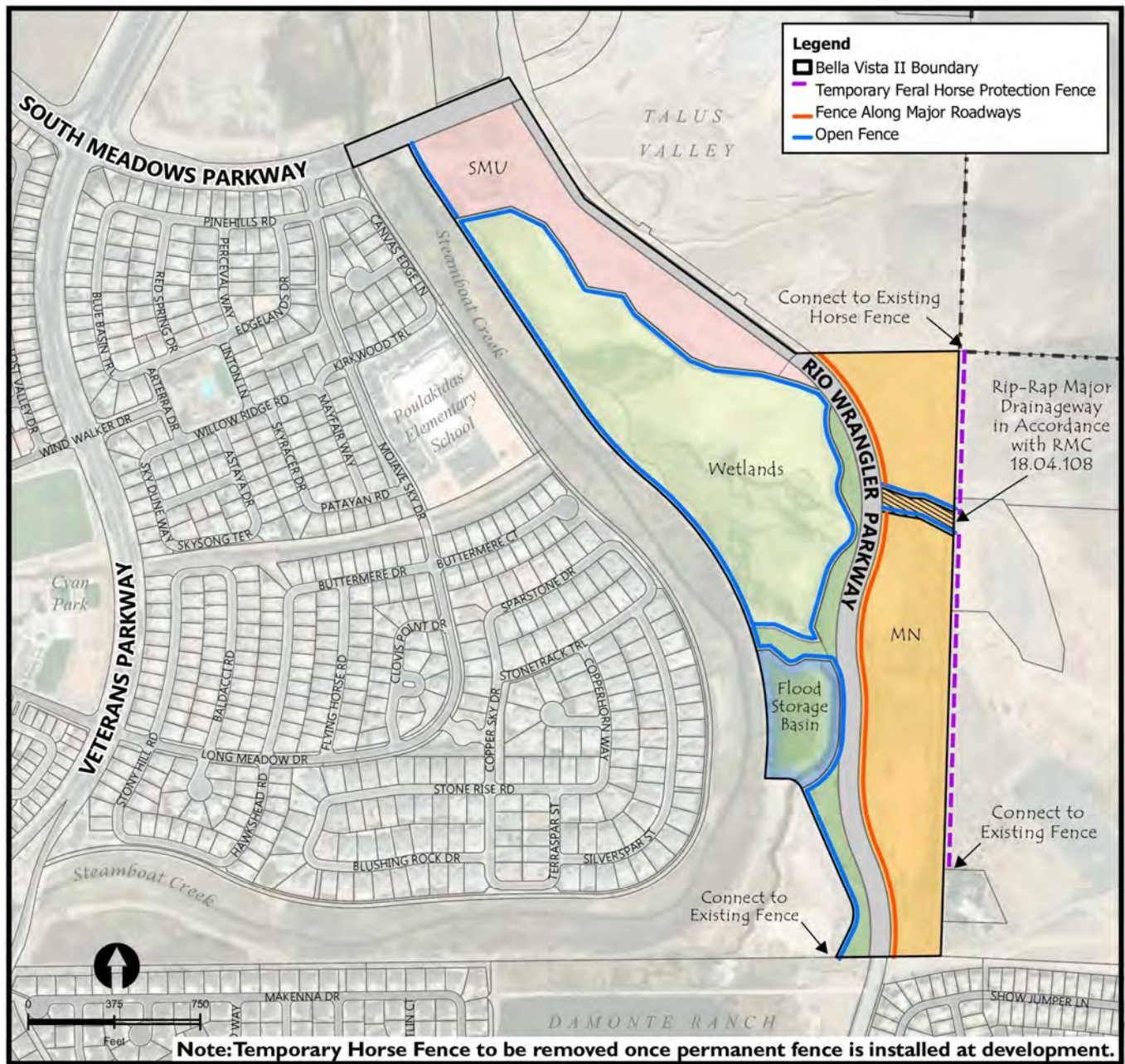
H.K. Wild Feral Horse Protection Plan/Design Standards

It is the intent of this PUD to keep the ~~wild-feral~~ horses that roam this area safe, ~~wild~~ and free. The plan calls for contiguous horse fencing around along the east side of the villages-MN land use with no gaps while connecting to adjacent fence to keep them along the eastern range as they are developed, while at the same time, allowing access to water in Steamboat Creek in accordance with NRS 569.431 and RMC 18.04.108, as amended.

Temporary Fencing

The proposed temporary fencing will be installed prior to any development. This w, as noted below, will keep the horses away from conflicts with other uses until development and permanent fencing is installed. (refer to **Figure 1527, below**). Once permanent fencing is installed it will be monitored and maintained by the Master Developer or HOA in accordance with RMC 18.04.108, as amended. In addition to fencing, cattle guards (horse guards) shall be included in the construction of Rio Wrangler Parkway at the north and south ends of the project. These guards, per NDOT standards, shall be tied into the perimeter fencing to keep horses from entering into the project.





Veterans

Figure 1527
Feral Wild Horse Protection Plan

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With development of each project, the individual village or project developer will be responsible for installation of ~~permenant~~permanent perimeter fencing per **Figures 12, 13, 14A, & 14B6, page 29, or Figures 24A and 24B, page 41** of this PUD, as applicable. Temporary fencing, along future development boundaries may be installed as specified on **Figure 1524A**, or an alternative design may be utilized subject to approval by the City of Reno. A fencing plan shall be required with each final map or building permit as ~~appiicable~~applicable, to demonstrate compliance with the intent of this section. All temporary and permanent perimeter fencing shall be constructed in ~~cepliance~~compliance with the requirements of NRS 569.431 thru .471.

IX. Water

~~Access to water in Steamboat Creek will be maintatined to the north of the project. (refer to Figure 27, page 46)~~ The Corps of Engineers has required that the mitigated wetland area along the creek be fenced to keep the horses out of the jurisdictional wetlands south of South Meadows Parkway.

~~The area north of the extension of South Meadows Parkway along the flood control easement (approx. 100 feet) will be fenced to provide a corridor for the horses to access Steamboat Creek. An additional 300 feet may be obtained from the Butler Ranch to the north as a temporary easement. The master developer shall be responsible for providing this fenced area at such time as the cattle guard is required to be installed at the north end of Rio Wrangler Parkway. This access easement shall remain in place until development north of South Meadows Parkway occurs and an alternative access easement to replace the existing easement is put in place. Alternative locations to replace this water access will be reviewed with future development approvals for this property.~~

Signage

With construction of Rio Wrangler Pkwy., lighted horse hazard traffic signs shall be required to be installed within the PUD boundary located along Rio Wrangler Parkway to the satisfaction of the City of Reno Public Works staff.

L. Conflicts with Reno Zoning Code

In the event of a conflict between these design standards and City Code, these standards shall govern development of Bella Vista II. When a specific standard is not addressed by the PUD, then the applicable section of Reno Municipal Code, as amended, at the time of review shall prevail.

H. Residential/Non Residential Design Standards

Tables 7 and 8 contain the base design standard for each Village within this PUD. These standards shall apply to all development applications and building permit requests, except parcel maps establishing roadways. Each development application or building permit request shall select one of the base zoning categories listed within subsections 3a, 4a and 5a below (design standards for Single-Family (SF4), Multi-Family (MF), and non-residential uses), which will be used for the particular piece of property included in the request. The selected base zoning category shall be in writing, approved by the Master Developer or the individual parcel developer if they are the owner of record. Once this base zone is selected for a particular parcel, it shall be used throughout the development process. It shall be used for determining signage and accessory building standards. It shall also be used to determine bulk, density, intensity, site and building design standards not specifically included in Tables 7 and 8 or the design standards text of this PUD.

1. Lot/ Parcel Standards – Residential

Single-family and Multi-family dwelling units, and any accessory structures shall be sited on lots/parcels to conform to the minimum lot and parcel standards as outlined in Table 7. Standards not addressed on Table 7 shall be consistent with the selected base zoning category as noted above in the previous paragraph.

**TABLE 7
LOT/PARCEL STANDARDS – RESIDENTIAL**

Density/Intensity Standards	Village A (a)	Village B (a)
Dwelling Units per Acre Max.	30	30
(du/ac) Landscape Area (percent)	20	20
Building Height (feet)	45(e)	45(e)
Lot Size		
Minimum Lot Area (1000's sq. ft)	4	4
Minimum Lot Width (feet)	20	20
Yard & Setback Dimension		
Front Yards (feet) (b)(d)	40	40
Side Yards (feet)	5 or 0	5 or 0
Rear Yards (feet)	40	40
Accessory Structures (e)		
Driveways	20	20
Min. usable open space	100 sf/unit	100 sf/unit

a. Small lot provisions as outlined in Reno Municipal Code, Title 18.12.102, Table 18.12.1 Residential Zones, bulk, dimensions and density standards as amended may be used in village A and B as outlined in Table 7.

b. Front yard setbacks for residential projects shall apply to the front face of the house or garage. All garages shall be served by driveways not less than 20 feet in length. Side-loaded garages may meet the same front yard setbacks as the house.

- Builders may provide for variations (but no less than the minimum setbacks) in front yard setbacks and/or building articulation to create an interesting streetscape.
- e. —— Accessory building setbacks shall conform to Reno Municipal Code Title 18.08.203 Table 18.08.9B Bulk, Dimensional, Density and Intensity Standards for accessory structures and uses, as amended and based upon the base zone chosen for the project as described in the first paragraph of section III C of this PUD.
- d. —— Minimum front yard setback shall be 20 feet adjacent to arterial or collector streets.
- e. —— Single Family uses limited to 35' overall building height per section 3 (b) 6.

2. —— Lot/Parcel Standards – Non-Residential

Non-residential structures and any accessory structures shall be sited to conform to the minimum lot and parcel standards as outlined in Table 8 below and in conjunction with the selected base zoning category as noted above in the first paragraph of Section III C, if the particular design requirement is not specified in Table 8.

**TABLE 8
LOT/PARCEL STANDARDS—
NON-RESIDENTIAL**

Density/Intensity Standards	Village A (a)	Village B (a)
Floor Area Ratio (FAR) Max.	0.50	0.50
Landscape Area (percent)	20	20
Building Height (feet)	45	45
Lot Size		
Minimum Lot Width (feet)	30	30
Yard & Setback Dimension		
Front Yards (feet) (b)	20	20
Side Yards (feet)	10 or 0	10 or 0
Rear Yards (feet)	20	20
Setbacks from Adjacent Residential Uses		
	20' or	20' or
	height of	height of
All Yards	building, building	
Building Separation	20 feet	20 feet

- a. —— All architectural design standards per Reno Municipal Code 18.08.301 (a) (10), 18.12.304 and 18.12.305(b) as amended
- b. —— Front yard setbacks adjacent to Rio Wrangler Parkway shall be 25 feet.

~~3. Design Standards – Single Family Residential (SF-4 zoning district requirements)~~

~~(Refer to Section IV B, Page 54 of this PUD for design standard conflict resolution)~~

~~a. Reno Zoning Code~~

~~The following City of Reno Code Sections apply to the Single Family uses.~~

- ~~1) Bulk Dimensional, Density and Intensity Standards for SF-4 projects shall follow City of Reno Development Code Section 18.12.101 and 102, as amended.~~
- ~~2) Residential Site and Building Design Standards for SF-4 projects shall follow City of Reno Development Code Section 18.12.302, as amended.~~
- ~~3) Off Street Parking and Loading Standards shall follow City of Reno Development Code Section 18.12.1101 through 1107, as amended.~~
- ~~4) Landscaping and Screening Standards for SF-4 projects shall follow City of Reno Development Code Section 18.12.1201 through 1213, as amended.~~
- ~~5) Exterior Lighting Standards shall follow City of Reno Development Code Section 18.12.1301 through 1304, as amended.~~
- ~~6) Fences and Walls Standards shall follow City of Reno Development Code Section 18.12.1405, as amended.~~
- ~~7) General Environmental Standards shall follow City of Reno Development Code Section 18.12.1501 through 1509, as amended.~~
- ~~8) Signage Standards for SF-4 projects shall follow City of Reno development Code Section 18.16.101 through 18.16.804, as amended. Off premises advertising displays are prohibited.~~
- ~~9) Accessory Buildings Standards for SF-4 projects shall follow City of Reno Development Code Section 18.08.205, as amended.~~

~~b. Architectural Elements~~

~~(Refer to Section IV B, Page 54 of this PUD for design standard conflict resolution)~~

~~1. Exterior Elements~~

~~Exterior materials shall include one or a combination of the following: stucco, Exterior Insulation and Finish System (EIFS), concrete fiberboard, wood or composite wood siding products with stone and masonry accents. Other materials may be submitted to the BVROA for consideration. Sample material boards shall be reviewed and approved by the BVROA. Siding materials shall be continued down to within 8 inches of finished grade on all elevations to eliminate large areas of exposed foundation. Building materials shall be compatible in scale with the design of the residences. Materials must also be compatible throughout each village.~~

~~2. Exterior Colors~~

~~All exterior color schemes as shown on sample color boards, shall be reviewed and approved by the BVROA. Exterior colors shall be in harmony with the natural~~

~~setting. Color intensity shall be kept low for large surfaces. Exterior palette materials shall not have high gloss or reflective/glare finishes. Bright primary colors are not permitted.~~

~~3. ——— Facades and Articulation~~

~~Architectural features such as: varying window sizes and shapes, shutters, broken planes and pitched roofs, covered entries and porches, porch rails, columns and trim detailing help to define the fronts of the homes and garages; and shall be incorporated into the design of the residences. Doors and windows shall be compatible throughout each house design.~~

~~Large blank walls, roofs, non-articulated garage doors, and three (or more) car garages, with garage doors in the same plane, are not permitted. Side entry garages are permitted.~~

~~Building materials and architectural features, compatible with the front of the houses shall be provided on all sides of the homes. Rear and side elevations adjacent to arterials and collector streets, as well as common open space areas shall be finished in a similar manner as the front elevations, subject to review and approval by the BVROA.~~

~~4. ——— Roofs~~

~~Roof colors shall be rich, medium to dark tones such as slate, dark brown and dark gray. Light colors are not permitted. The BVROA shall review and approve the color palette of roofing within each village.~~

~~Varying pitched roofs are encouraged. A variety of pitched roofs may be provided. Roof pitches under 5/12 including flat roofs are subject to specific review and approval by the BVROA.~~

~~Roof materials shall be applied to comply with snow load and high wind standards. Materials may include:~~

- ~~1) ——— Concrete or clay tile (flat or barrel),~~
- ~~2) ——— Non-reflective architectural metal,~~
- ~~3) ——— 40-year architectural grade composition shingles,~~
- ~~4) ——— 40-year fiberglass composition shingles~~

~~Roof materials, however, must be consistent throughout each village.~~

~~5. ——— House Plans~~

~~Each village shall have a minimum of four distinct house plans. House design shall vary throughout each village with no one elevation repeated for abutting homes, or mirrored across the street. Adjacent lots may share the same floor plan, but must have different elevations. Garage forward plans shall be limited to 2 of the 4. Side loaded garages shall not be considered garage forward plans if elevations are architecturally consistent.~~

~~6. ——— Height and Size Restrictions~~

~~The maximum allowable height of all structures shall be thirty-five (35) feet as measured from finished floor to the highest ridge of the structure.~~

~~7. ——— Exterior Lighting~~

~~Lighting shall be integrated with the architectural design of the individual residences. Exterior lighting fixtures mounted on the homes shall be no higher than the line of the first story eave or, where no eave exists, no higher than 12 feet above finished grade. Lights shall be shielded to prevent light spillage onto adjacent properties or streets.~~

~~Flood lights are not permitted. Motion detector actuators are permitted with designer fixtures only and subject to approval by the BVROA.~~

~~c. Miscellaneous Design Elements~~

~~1. Awnings, Trellises, Patio Covers, Decks and Other Accessory or Ancillary Structures~~

~~Awnings, trellises, patio covers, second story decks and other accessory or ancillary structures including granny flats and casitas, provided by builders, shall be consistent in material, color and architectural character as the main structure and must be reviewed and approved by the BVROA. At a minimum, the setback requirements of such structure shall conform to this PUD and Reno Municipal Code 18.08.203(c) as amended.~~

~~2. Chimneys~~

~~Exterior materials of chimneys shall be compatible with the exterior materials and colors used on the house.~~

~~3. Driveways, Parking Areas and Walkways~~

~~Driveways shall be a minimum of 20 feet in length as measured from the outside edge of sidewalk to allow for off-street parking. Driveways shall be Portland Cement Concrete or traffic rated concrete decorative pavers and shall be consistent on a village wide basis. Asphalt or decomposed granite is not allowed.~~

~~4. Design Standards – Multi-Family Residential~~

~~(Refer to Section IV B, Page 54 of this PUD for design standard conflict resolution)~~

~~a. The following City of Reno Code Sections apply to the Multi-family uses.~~

- ~~1) Bulk Dimensional, Density and Intensity Standards for MF-14, MF-21 and MF-30 projects shall follow City of Reno Development Code Section 18.12.101 and 103, as amended.~~
- ~~2) Site and Building Design Standards for MF-14, MF-21 and MF-30 projects shall follow City of Reno Development Code Section 18.12.301, as amended.~~
- ~~3) Off Street Parking and Loading Standards shall follow City of Reno Development Code Section 18.12.1101 through 1107 as amended.~~
- ~~4) Landscaping and Screening Standards for MF-14, MF-21 and MF-30 projects shall follow City of Reno Development Code Section 18.12.1201 through 1213, as amended.~~
- ~~5) Exterior Lighting Standards shall follow City of Reno Development Code Section 18.12.1301 through 1304, as amended.~~
- ~~6) Fences and Walls Standards shall follow City of Reno Development Code Section 18.12.1405, as amended.~~

- ~~7) General Environmental Standards shall follow City of Reno Development Code Section 18.12.1501 through 1509, as amended.~~
- ~~8) Signage Standards for MF-14, MF-21 and MF-30 projects shall follow City of Reno development Code Section 18.16.101 through 18.16.804, as amended. Off premises advertising displays are prohibited.~~
- ~~9) Accessory Buildings Standards for MF-14, MF-21 and MF-30 projects shall follow City of Reno development Code Section 18.08.203, as amended~~

5. ~~Design Standards - Non-Residential (NC, Neighborhood Commercial and PO, Professional Office)~~

~~(Refer to Section IV B, Page 54 of this PUD for design standard conflict resolution)~~

~~a. The following City of Reno Code Sections apply to the non residential land uses:~~

- ~~1) Bulk Dimensional, Density and Intensity Standards for NC and PO projects shall follow City of Reno Development Code Section 18.12.101 to 18.12.104, as amended.~~
- ~~2) Non-Residential Site and Building Design Standards for NC and PO projects shall follow City of Reno Development Code Section 18.12.301 and 18.12.305, as amended.~~
- ~~3) Off Street Parking and Loading Standards shall follow City of Reno Development Code Section 18.12.1101 through 1108, as amended.~~
- ~~4) Landscaping and Screening Standards for NC and PO projects shall follow City of Reno Development Code Section 18.12.1201 through 1213, as amended.~~
- ~~5) Exterior Lighting Standards shall follow City of Reno Development Code Section 18.12.1301 through 1304, as amended.~~
- ~~6) Fences and Walls Standards shall follow City of Reno Development Code Section 18.12.1401, as amended.~~
- ~~7) General Environmental Standards shall follow City of Reno Development Code Section 18.12.1501 through 1509, as amended.~~
- ~~8) Signage Standards for NC and PO projects shall follow City of Reno development Code Section 18.16.101 through 18.16.804, as amended. Off premises advertising displays are prohibited.~~
- ~~9) Residential Adjacency Standards for NC and PO projects shall follow City of Reno development Code Section 18.12.304, as amended. These standards shall apply to any adjacent selected single family base zones as specified in Section III C, page 48 of this PUD.~~

IV. IMPLEMENTATION

A. Design Review

These Design Standards will be used by the City of Reno and relevant government agencies to review each ~~single family~~ tentative map, multi-family, or non-residential site plan/building permit proposal for conformance with the overall design objectives and standards contained in this PUD.

It will be the responsibility of each Parcel Developer to comply with the Design Standards in preparation of landscape design plans.

~~I.~~ Applicability of Land Use and Development Standards

B.

Where there is a conflict between standards within this PUD and cited city code sections, ~~(Sections III C 3-5)~~, the standards in this PUD shall prevail. Where the provisions of this PUD do not address a specific subject, the provisions of the Reno ~~Municipal Code Title 18 Zoning Ordinance (Chapter 18)~~ or other ordinances governing the development of land, which are in effect at the time of application, shall apply. All other conflicts shall be resolved by the ~~City Zoning~~ Administrator.

C. Administration

The Bella Vista Ranch Phase II PUD shall be administered by the Administrator, or their designee as defined by the City of Reno Annexation and Land Development Code. The Administrator shall have the authority to interpret and apply this PUD handbook.

There shall be a master developer in place from the first stage of development of the PUD. This master developer shall continue throughout the development of the PUD until and unless a master homeowners association or other entity is created to serve the role of the master developer. The role of the master developer, for the purposes of this PUD shall be:

- a) To prescribe and administer methods and procedures to ensure and control the quality of development that occurs in this PUD.
- b) Maintain all common area improvements, storm drain channels, detention basins and other flood control facilities.
- c) Construct, or have constructed, all parks, pathways, trails and sidewalks.

D. Flexibility

The Development Plan and Development Standards contained herein are intended to depict the general development vision for the PUD. Sufficient flexibility shall be allowed to permit detailed planning and design at the time of actual development. The acreage of each land use category may be increased by up to 10% if it is demonstrated that additional acreages are necessary due to constraints and/or design considerations to accommodate the project, to the satisfaction of the Administrator. This provision shall not exceed a cumulative total of 10% for each land use category. Changes in excess of 10% shall require an amendment to the Development Standards Handbook. Residential densities and residential dwelling unit allocation may be interchangeable between villages and will be defined fully with the tentative map for any given residential village. With each tentative map application, the Master Developer and/or applicant shall provide an accounting of the overall residential unit allocations, and updated land use category acreages approved to date. The total number of residential units shall not exceed 609 units or 117,612 square feet of non-residential without an amendment to the Development Standards Handbook.

E. Modifications

The Administrator shall have the ability to administratively update the PUD to reflect RMC amendments that impact the PUD. The Master Developer shall be notified of any administrative changes by the Administrator prior to final approval of such changes. Minor deviations shall be subject to written approval from the Master Developer. The Administrator also shall have the ability to grant minor deviations as outlined in RMC 18.08.804 as amended. Deviations of 10% or more shall conform to the City of Reno Major Deviation process as outlined in RMC 18.08.802, as amended.

J. Administration

~~The Bella Vista Ranch Phase II PUD shall be administered by the Zoning Administrator or his/her designee as defined by the City of Reno Annexation and Land Development Code. The administrator shall have the authority to interpret and apply this PUD handbook.~~

~~There shall be a master developer in place from the first stage of development of the PUD. This master developer shall continue throughout the development of the PUD until and unless a master homeowners association or other entity is created to serve the role of the master developer. The role of the master developer, for the purposes of this PUD shall be:~~

- ~~a) To prescribe and administer methods and procedures to ensure and control the quality of development that occurs in this PUD.~~
- ~~b) Maintain all common area improvements, storm drain channels, detention basins and other flood control facilities.~~
- ~~c) Construct, or have constructed, all parks, pathways, trails and sidewalks.~~

~~Only the master developer or its authorized designee may initiate an amendment to the PUD. Each development application submitted to the city shall include documentation that the master developer has reviewed the application.~~

K. Affordable Housing

~~In recognition of the importance of expanding homeownership opportunities to all members of the City and region, this PUD shall participate in any future citywide inclusionary zoning or other affordable housing program established and approved by the city council~~

C.F. Green Development Practices

This PUD will include leading edge practices for the reuse of treated effluent. Low Impact Development (LID) best practices shall be utilized in the design and construction of all non-residential or residential developments to increase water infiltration and improve water quality. Any ordinances the city adopts that prescribe green building practices will be required in this PUD as they become effective. Plans demonstrating application of best practices or conformance with adopted green development standards shall be provided with each tentative map, ~~special conditional~~ use permit, site plan review, and/or building permit.

To encourage the passive utilization of solar energy, this PUD will not restrict the reasonable use of solar facilities in the CC&R documents for the development. The PUD will not allow building heights in excess of those set forth in the ~~Tables 3 & 4 City of Reno development code~~ and will require the placement of houses or non-residential structures such that excessive shadows are not cast that restrict the use of solar facilities, both within and adjacent to the project.

D.G. Hours of Operation

Hours of operation for exterior construction activity or heavy equipment operation within the PUD shall be limited as follows:

- a) Monday – Friday ~~7~~6:00 a.m. to ~~6~~8:00 p.m.;
- b) Saturday – ~~8~~9:00 a.m. to 6:00 p.m.;
- ~~c) No heavy equipment operations on Sundays or holidays (New Years Day, Thanksgiving Day and Christmas Day); There shall be no construction on Sundays.~~
- ~~d) A sign with the approved construction hours shall be posted on site for the full duration of construction activity.~~
- ~~e) Hours of Operation shall not apply to dust control or storm water management operations. A note to this effect shall be placed on the title sheet of all building permit plan sets.~~
- ~~d)f) Exceptions to these hours of operation may be granted by the Administrator for construction activities that are of limited scope or unique and necessary based on weather, time of season, or nature of the particular activity. (e.g. concrete pours, roadway paving, utility installation, etc.) construction hours for the pouring of concrete slabs, interior construction hours or other modifications (roadway paving, utility installation, etc.), a plan detailing the construction operations and provisions to minimize impacts on nearby residential areas shall be submitted and approved to the satisfaction of the Administrator.~~

E.H. Open Space Deed Restrictions

All designated open space and common areas intended for open space uses shall be deed restricted per Reno Municipal Code Section 18.~~12.101(f)~~09.208, as amended.

F. Fire, Police and Parks Fees

~~Refer to Sections I-I, and II-G and III-B for details on implementation of certain fees for and construction of these public facilities.~~

G.I. NV Energy Substation

The owner, his agent or designee shall notify and disclose to all potential buyers, renters and tenants within the project that there is an existing electrical power substation located approximately 1,450 feet northeast of the PUD which may be expanded in the future.

H.J. Health Department Wind Sensor Condition

Prior to issuance of each building permit, or approval of each final map, as applicable, the applicant shall have plans approved to install a wind sensor unit in all on-site areas containing turf.

I.K. Airport Avigation Condition

Prior to issuance of each building permit, or approval of each final map, as applicable, the property owner(s) shall grant an Avigation Easement to, and acceptable to, the Airport Authority of Washoe County over the entire ~~±±~~77.3 acre property. The property owner(s) shall provide the Planning Department with appropriate documentation indicating the Avigation Easement has been granted and accepted by the Airport Authority of Washoe County.

L. Review Process

Prior to the submittal of a development application to the City, the proposed development shall be reviewed by the Master Developer at their sole discretion. Each development application submitted to the City shall include written documentation of approval from the Master Developer.

Written approval by the Master Developer does not constitute City approval of a development application. The construction of individual projects, including accessory structures shall follow the City of Reno building permit process. For some uses where a tentative map, conditional use permit, or site plan review is required, these processes shall precede the building permit process, as applicable.

Appeals:

The applicant or developer may appeal any decision, comments, or recommendations of the Administrator in accordance with RMC Section 18.08.307(J), as amended.

L. Gravel Pit

Refer to Page 3, paragraph B.2, of this PUD Handbooks

M. Shooting Range

Refer to Page 4, paragraph B.2, of this PUD Handbook

V. Zoning Ordinance, Certifications, Clerks Letter, Regional Planning Letter

Attachment 1

Zoning Ordinance & City Council Certification Letter

Attachment 2

s Letter, Regional Planning Letter

Attachment 3

Development Services Amendment Decision Letter

V. APPENDIX

A. Traffic Study — Solaegui Engineering, June 2005

~~1. Update/Addendum Letter — Solaegui Engineering, April 2010~~

~~B. Flood Control Master Plan — QuadKnopf Consulting, December 2005 B-1 CLOMR approval letter from FEMA, dated August 8, 2007 B-2 LOMR approval letter from FEMA, dated April 25, 2008~~

~~B-3 Bella Vista Ranch Drainage District — Recorded as document Number 3522200~~

~~C. Wetland Mitigation Plan — Gibson & Skordal, Wetlands Consultants, February 2005~~

~~C-1 404 Individual Permit # 200400683, dated February~~

~~D. Geotechnical Report — Black Eagle Consulting, Inc., August 23, 2004~~

~~E. List of Uses in the SF4, MF14, MF 21 and MF30 zones not allowed in the Bella Vista Ranch Phase II PUD~~

~~Manufactured Homes Mobile Home Subdivision Electric Generating Plant Electric Utility Substation Utilities Major~~

~~Boarding and rooming houses Fraternity or Sorority~~

~~Hospice~~

~~Private Dorm~~

~~F. List of non-residential uses that will be allowed in this PUD General Personal Service~~

~~Child Care Facility (Village C only) Cluster Development Convenience store~~

~~Car wash~~

~~Financial Institution (Village C Only) Laboratory~~

~~Medical facility, day use only~~

~~General Retail Store or Commercial Use other than listed~~

~~Office other than listed Pet store~~

~~Restaurant, with or without alcohol service Showroom~~

~~Hotel without gaming Post office~~

~~Custom & craft work~~

~~List of non-residential uses strictly prohibited~~

~~LRE (Large Retail Establishments) Gas station~~

~~G. First Amended Public Facility Site Agreement~~

~~H. Residential Construction Tax Agreement~~

DRAFT